



310 W. 19th Terrace
Kansas City, MO 64108

Architect's Supplemental Instructions Addendum

310 West 19th Terrace, Kansas City, Missouri 64108 ph: 816.994.8970 fax: 816.994.8974

Project: Samish Xwch'ángteng Development on 34th Street
Anacortes, WA

Addendum/ASI No.: Addendum 04
Date of Issuance: June 3rd, 2022

Owner: Samish Indian Nation,
8327 Summit Park Road
Anacortes, WA 98221

To Contractor: All Potential Bidders

TO ALL BIDDERS: This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents, and all subsequent addenda. Receipt of this Addendum must be acknowledged in the space provided on the Bid Form.

Addendums & bid question procedure:

- All questions must be submitted in writing to Kim McKinnon, kmckinnon@samishtribe.nsn.us. Questions via phone will be required to be submitted in writing for an answer.
- Travois will collect questions and respond in addendums (one per week) that will be issued to all bidders. Deadline to submit questions is 12pm PDT on Thursdays (May 5, May 12, May 19, May 26, June 2,) for answer and inclusion in Addenda typically released on Mondays.
- Question period will end on Thursday June 2nd (12pm PDT) with response sent to group by Friday, June 3rd, EOB. No additional questions will be allowed after that date.

Description:

The following questions have been posed of the project. Answers as follows:

1. Who is paying for the water meters & utility hook-up fees? [GC](#)
2. Limited Waiver of Sovereign immunity: [Attached](#)
3. Because of how Project is Funded, are there any Domestic Requirements for material used in this Project? Buy America or Buy American for Example? [not a requirement. Preference is for goods, products or materials produced in the United States.](#)
4. 2116 34th Street: [Increased driveway apron width by 4' and additional new 20' wide apron](#)
5. Add to cover: [Deferred Submittals Fire Sprinklers \(Fire Marshal and MEP to review\), Prefabricated Wood Trusses and Engineered I-Joists](#)
6. Note clarification: [A001 note #44 A blower door test is required by the Washington State Energy Code R402.4.1.2 Testing for each housing unit. Test to be paid and coordinated by contractor](#)
7. Will the electrician be responsible for installing the 2" conduit from community center IT closet to each cottage? [Yes](#)
 - a. Will electrician also be responsible for the fiber & RG6 homeruns installed in this conduit? [IT contractor plan to do this work.It is General Contractor's responsibility to coordinate subcontractors scope.](#)
 - b. Will electrician be responsible for the PH/TV enclosure installed @ exterior of cottage? [Yes](#)
8. Will the electrician be responsible for pulling CAT6 from IT enclosure, at community center, to each cottage? [IT contractor plan to do this work.It is General Contractor's responsibility to coordinate subcontractors scope.](#)

- a. There is a location @ covered porch & carport and community center – notes say cat6 cable from IT enclosure for future use & blanked off. Please clarify note. [Electrician to provide conduit from community building IT room to each porch and exterior community center door to j-box for future IT connection.](#)
9. Is there a proposed contractor parking and material laydown area nearby? [There is the 2 acres that is being developed – the wetland buffer for contractor use. There will be street parking once 34th street is built in front of existing houses.](#)
10. Upon review of the plans it appears this project requires 14 NFPA 13D wet pipe fire sprinkler systems for each of the 14 homes and one NFPA 13 wet pipe fire sprinkler system for the Community Center. Please verify. [Correct](#)
11. Foundation slab: putting rigid insulation under the entire slab can create voids that can lead to cracking. (A more typical method was described as follows: rigid insulation is placed on the inside face of the footing and stem wall and wrapped underneath the slab until a length of 2' is reached.) Please confirm the rigid insulation is to be placed under the entire slab. [Yes rigid insulation is to be placed under the entire slab per the project's energy code points required.](#)
12. The height of the rigid insulation on the outside face of perimeter walls is 24" according to architectural plans but according to the structural drawings the bottom of footing to top of slab would not be that tall. Please confirm that you did want the rigid insulation on the outside face of the wall. [Yes rigid insulation is to be placed on outside face of wall from footing to slab minimum of 18" at Foundation Plan "A" and minimum of 24" at Foundation Plan "B".](#)
13. There are a few structures to be installed in the utility corridor to the north of the project, between the church's lot and the residential lots to the West. The excavation depth for each of these looks to be over 10ft deep, there is a potential that the size of the excavation top will extend passed the utility easement limit into these properties. Have the owners of these properties been notified and forewarned about this potential impediment. If pavement, or trees are undermined in the process of installing these manhole structures or the sewer line between, will there be a requirement to restore existing conditions? [Contractors do not have permission to excavate beyond the 20-foot easement that the church property has given to the Tribe. If necessary, trench boxes should be used by the contractor to minimize the excavation of the trench. Contractors will be liable if they cause any damage to adjacent property.](#)
14. Is there anywhere near the project site but not within the bounds of the subdivision which can be utilized for the location of the job-office trailer and for material laydown? We anticipate maintaining these facilities inside the construction area during construction will impede the speed of the project, in such a fully utilized lot. [There is not](#)
15. Plans show Foundation Plan A – ADA Unit (sheet S200-A) and Foundation Plan B – ADA (sheet S200-B). Confirm that Foundation Plan A – ADA Unit is for the designated ADA units #2, #5, #12, #14 on sheet A100. Also, confirm Foundation Plan B – ADA is for all other units not listed as either ADA or Sensory. [Two options are provided for foundation plans. Both options work for ADA Units. Foundation plan "A" provides a stem wall option detail to work as a retaining wall where finished grade is 12" below FF. Contractor may use either foundation detail.](#)
16. Clubhouse doors 202 for the network and janitor closets are in a Type D - 2 hour wall but they are specified to be hollow core residential doors. Please clarify door type in this area for fire rating. [As specified Doors are not in rated wall](#)
17. On civil sheet 17 (water service plan) construction note 3 says 2" ductile iron pipe. The site civil schedule of values says the same thing. 2" ductile iron pipe is not made / 3" is the smallest size it's made in. What material do you want for the 2" water line? [PVC](#)
18. There is no listed medium for the fall protection zone around the slide, playcreation has suggested playground grass, is this acceptable? [Yes](#)
19. The installation cost for a play creation certified installation crew to come out to the project (from Enumclaw, likely) will be excessive. John Larson with playcreation has suggested that the slide be assembled, and posts poured with concrete bases and assemble per assembly instructions and that play creation send a representative afterward to perform a final inspection and sign off prior to burying the concrete. Is this also acceptable? [Yes](#)

CHANGES TO PROJECT DRAWINGS:

1. Sheet ATS: add [DEFERRED SUBMITTALS LIST](#)
2. A200, A201, A202, A203, A204, A300, A301, A302, A303, A304, A305 note #18 add [MAXIMUM 5 AIR CHANGES PER HOUR. A BLOWER DOOR TEST IS REQUIRED BY THE WASHINGTON STATE](#)

ENERGY CODE R402.4.1.2 TESTING FOR EACH HOUSING UNIT. TEST TO BE PAID AND
COORDINATED BY CONTRACTOR

3. CIVIL SET REV 4&5

CHANGES TO PROJECT MANUAL:

1. Limited waiver of Sovereign immunity.

Attachments:

Addendum #4 Sheets: ATS, A200, A201, A202, A203, A204, A300, A301, A302, A303, A304, A305, CIVIL SET,
SAMISH LIH SCHEDULE OF VALUES, Limited waiver of Sovereign immunity



By Rebecca Riden, Senior Architect/Project Manager, Travois Design and
Construction Services

6/3/2022
Date

Exhibit G. Limited Waiver of Sovereign Immunity

Samish is a federally recognized Indian tribe with sovereign immunity from unconsented suit absent its express waiver. In order to provide for an enforceable method of dispute resolution for any disputes or controversies arising out of or relating to this Agreement, Samish agrees to a limited waiver of its sovereign immunity, as expressly set forth herein.

Samish expressly consents to a limited waiver of its sovereign immunity in favor of Contractor, from suit for purposes of this agreement. Samish consents to suit against it by Contractor (and, if payment or performance bonds are required, then by any Surety providing such bond) in the same manner and to the same extent that Contractor could sue Samish if Samish were not an entity with sovereign immunity, as specifically limited below. Contractor and any applicable surety may not commence any action against Samish except in strict conformity with the provisions and requirements of Samish's limited waiver of its sovereign immunity. This agreement is specifically limited to the signatory parties hereto, and any applicable sureties.

The Parties intend that the terms and conditions of this section are exclusively for the benefit of the signatory parties and confer no rights or benefits on any third party. The terms of this section provide the exclusive remedy to either party for the resolution of any dispute.

Samish expressly consents to personal and subject matter jurisdiction in the courts of the State of Washington for purposes of this Agreement, including any appeals taken from any state court through the last level of legally available appellate review. The parties mutually waive any right to trial by jury. The rights and obligations of the parties and the interpretation and performance of this Agreement shall be governed by the laws of the State of Washington, without regard to conflicts of law provisions. Samish expressly agrees to a waiver of its right to seek review of this Agreement in any manner in the Samish Tribal Court, and expressly waives its right to exhaustion of tribal court remedies as confirmed by federal law principles. Samish expressly waives any right to seek or claim tribal court jurisdiction to adjudicate any controversy arising out of or relating to this Agreement or any amendments thereto, and will not file any pleading or make any appearance in the Samish Tribal Court regarding this Agreement without the express written consent of Contractor.

Samish's limited waiver of sovereign immunity provided herein is specifically limited to the following actions and judicial remedies: (1) binding arbitration if provided for in this Agreement; (2) declaratory relief by Samish or Contractor to determine whether a party is violating any of the terms of this Agreement; (3) any specific action or discontinuance of some action by Samish or Contractor (or, if applicable, its surety) to bring Samish or Contractor into full compliance with its duties and obligations expressly assumed by it under the Agreement or under Washington law, including but not limited to consent to enforcement of any judgment or order of the courts by any means available under the laws of the State of Washington; and (4) monetary relief for noncompliance with the terms and provisions of this Agreement.

In no event shall either party be liable for punitive, consequential, special, or indirect damages including lost profits under this Agreement (except as specifically provided in this Agreement), arising out of any cause. Monetary relief is limited to the amount of the Agreement and any costs, expenses and attorney fees associated with enforcement of the terms and remedies hereof. A prevailing party shall also be entitled to an award and judgment of its reasonable costs and attorney fees to enforce any equitable relief granted by court order or injunction, and to enforce, execute upon and obtain satisfaction of any resulting monetary judgment through any remedy which that party would be able to invoke if the other party were an entity that did not enjoy sovereign immunity, except as limited herein.

Samish expressly agrees that Contractor may seek satisfaction of judgment arising hereunder from Samish Treasury ARPA Affordable Housing FRF funds set aside for the construction of this project, in a separate bank account at Heritage Bank Northwest Samish will not remove funds from this account except to pay invoices under this contract, If for some reason funds in that account get transferred, Samish agree to replace them back to the remaining contract amount. Tribal trust lands, realty and personal property are not available for judgment or seizure under this Agreement. Nothing in this Agreement shall be construed to permit Contractor to encumber or seek satisfaction of judgment from any assets of Samish, except the assets specifically listed herein. Moreover, no

interest in land, whether tangible or intangible, vested or contingent, or any occupancy or other rights or entitlements therein or related thereto, shall be subject to attachment, execution, lien, judgment or other enforcement or satisfaction of any kind. Damages awarded against Samish pursuant to the terms of this Agreement shall be satisfied solely from the assets listed herein and shall not constitute a lien upon or be collectible from any other income or assets of Samish or any member, officer, office holder, employee, affiliate, agent or representative of Samish.

Samish 34th Street

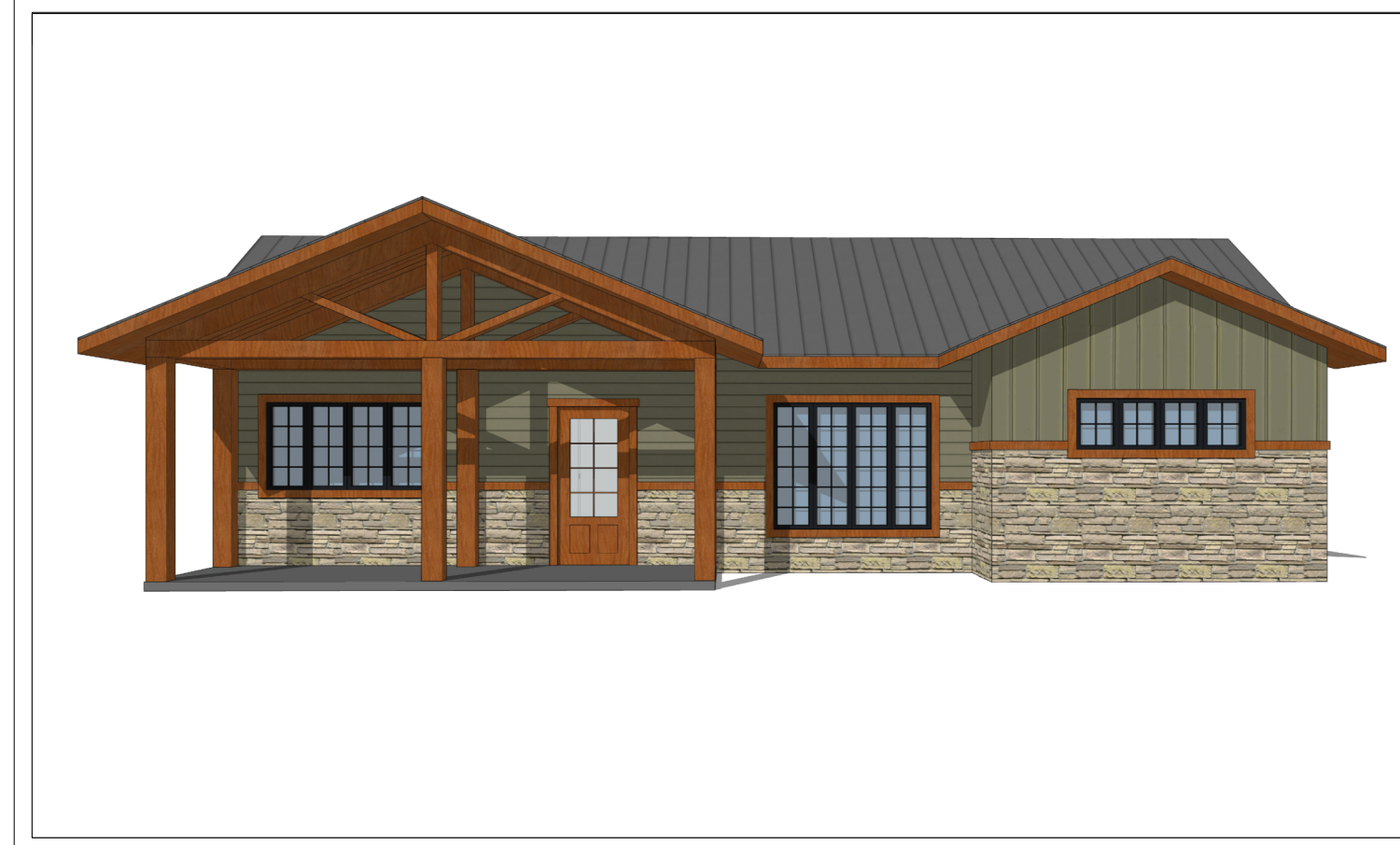
Anacortes, Washington

UNIT AREA SUMMARY (SQUARE FOOTAGE IS CALCULATED AS BUILDABLE AREA AND INCLUDES ALL EXTERIOR WALLS.)

UNIT TYPE	SF	# of Units	TOTAL SF
2 BEDROOM SINGLE FAMILY: CONDITIONED SPACE CARPORT	985 302	14	13,790 4,228
COMMUNITY BUILDING: COMMUNITY SPACE 1 BEDROOM APARTMENT	934 934	1 1	934 934
TOTAL CONDITIONED SPACE		16	15,658

PROJECT SUMMARY

PROJECT AWARD FOR THE NEW CONSTRUCTION OF (14) SINGLE FAMILY HOMES WITH CARPORTS AND DRIVEWAYS, (1) COMMUNITY BUILDING, PLAYGROUND AND ASSOCIATED PARKING AREA IN ANACORTES, WASHINGTON.



2 BEDROOM SINGLE FAMILY RENDERING



LOCATION MAP

PROJECT TEAM:

OWNER: Samish Indian Nation 2918 Commercial Ave Anacortes, WA 98221	CIVIL ENGINEER: Red Plains Professional, Inc. 2103 NE 129th Street Suite 201 Salmon Creek Vancouver, WA 98686 p: 360.448.7999	ARCHITECT: Travois Design & Construction Services 310 West 19th Terrace Kansas City, MO 64108 p: 816.994.8970 f: 816.994.8974	STRUCTURAL ENGINEER: Apex Engineers, Inc. 1600 Baltimore, Suite 102 Kansas City, MO 64108 p: 913.432.3222 f: 913.432.4965	MECHANICAL, ELEC & PLUMBING ENGINEER: PKMR Engineers, Inc. 13300 West 98th Street Lenexa, KS 66215 p: 913.492.2400 f: 913.492.2437
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SHEET INDEX:

ARCHITECTURAL

Pg. 1 - ATS	TITLE SHEET
Pg. 2 - A001	SPECIFICATIONS
Pg. 3 - A002	SPECIFICATIONS
Pg. 4 - AN1	ADA NOTES
Pg. 5 - AN2	ADA NOTES
Pg. 6 - AN3	ADA, SENSORY & UNIVERSAL DESIGN NOTES
Pg. 7 - A100	ARCHITECTURAL SITE PLAN
Pg. 8 - A200	TWO BEDROOM FLOOR PLAN + INTERIOR ELEVATIONS
Pg. 9 - A201	TWO BEDROOM REFLECTED CEILING PLAN
Pg. 10 - A202	TWO BEDROOM ROOF PLAN
Pg. 11 - A203	TWO BEDROOM ELEVATIONS
Pg. 12 - A204	TWO BEDROOM SECTIONS
Pg. 13 - A300	COMMUNITY BUILDING FLOOR PLANS + INTERIOR ELEVATIONS
Pg. 14 - A301	COMMUNITY BUILDING FLOOR PLANS + INTERIOR ELEVATIONS
Pg. 15 - A302	COMMUNITY BUILDING REFLECTED CEILING PLAN
Pg. 16 - A303	COMMUNITY BUILDING ROOF PLAN
Pg. 17 - A304	COMMUNITY BUILDING ELEVATIONS
Pg. 18 - A305	COMMUNITY BUILDING SECTIONS

STRUCTURAL

Pg.24 - S100	GENERAL NOTES
Pg.25 - S110	SPECIAL INSPECTIONS
Pg.26 - S120	SCHEDULES
Pg.27 - S200-A	TWO BEDROOM FOUNDATION PLAN A
Pg.28 - S200-B	TWO BEDROOM FOUNDATION PLAN B
Pg.29 - S201	TWO BEDROOM ROOF FRAMING PLAN
Pg.30 - S210	COMMUNITY BUILDING FOUNDATION PLAN
Pg.31 - S211	COMMUNITY BUILDING FLOOR FRAMING PLAN
Pg.32 - S212	COMMUNITY BUILDING ROOF FRAMING PLAN
Pg.33 - S300	SHEAR WALL ELEVATIONS
Pg.34 - S301	CS-PF BRACED WALL
Pg.35 - S500	CONCRETE DETAILS
Pg.36 - S501	FOUNDATION DETAILS
Pg.37 - S502	FOUNDATION DETAILS
Pg.38 - S503	FOUNDATION DETAILS
Pg.39 - S520	WOOD DETAILS
Pg.40 - S521	WOOD DETAILS
Pg.41 - S522	WOOD FRAMING DETAILS
Pg.42 - S523	WOOD FRAMING DETAILS
Pg.43 - S524	BRACED WALL DETAILS

MECHANICAL, PLUMBING AND ELECTRICAL PLANS

Pg.44 - ME-101	COVER SHEET
Pg.45 - P101	PLUMBING TWO BEDROOM
Pg.46 - P102	PLUMBING COMMUNITY BUILDING
Pg.47 - P201	PLUMBING SCHEDULES & DETAILS
Pg.48 - M101	MECHANICAL TWO BEDROOM
Pg.49 - M102	MECHANICAL COMMUNITY BUILDING
Pg.50 - M201	MECHANICAL SCHEDULES/DETAILS
Pg.51 - E101	POWER TWO BEDROOM
Pg.52 - E102	POWER COMMUNITY BUILDING
Pg.53 - E201	POWER SCHEDULES/DETAIL
Pg.54 - E202	POWER SCHEDULES
Pg.55 - E301	LIGHTING TWO BEDROOM
Pg.56 - E302	LIGHTING COMMUNITY BUILDING
Pg.57 - E401	LIGHTING COMMUNITY BUILDING
Pg.58 - E501	LIGHTING SCHEDULES & DETAILS

DEFERRED SUBMITTALS
-FIRE SPRINKLERS (FIRE MARSHAL AND MEP TO REVIEW)
-PREFABRICATED WOOD TRUSSES
-ENGINEERED I-JOISTS

ABBREVIATIONS & SYMBOLS

ABBREVIATIONS

A.C.	ARCHITECTURAL CONCRETE	MFGD.	MANUFACTURED
ADA	ACCESSIBLE FOR PERSONS WITH DISABILITIES	MFGR.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MTD.	MOUNTED
ALT.	ALTERNATE	MTL.	METAL
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
BM.	BEAM	N.T.S.	NOT TO SCALE
BND.	BEYOND	O.C.	ON CENTER
BD.	BOARD	O.D.	OUTSIDE DIAMETER
B.O.	BOTTOM OF	OFD.	OVERFLOW DRAIN
C.C.	CENTER TO CENTER	OPG.	OPENING
CMU.	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
CONC.	CONCRETE	PLAS. LAM.	PLASTIC LAMINATE
DM.	DIMENSION	PLYWD.	PLYWOOD
D.S.	DOWNSPOUT	PT.	PAPER TOWEL
ELEV.	ELEVATION	Q.T.	QUARRY TILE
EQ.	EQUAL	REV.	REVERSE
EXIST.	EXISTING	RD.	ROOF DRAIN
F.D.	FLOOR DRAIN	R.I.	ROUGH IN
F.E.	FIRE EXTINGUISHER	R.I.C.	ROUGH IN AND CONNECT
F.E.C.	FIRE EXTINGUISHER CABINET	S.C.	SEALED CONCRETE
FIN.	FINISH	SHT.	SHEET
FLUOR.	FLUORESCENT	SIM.	SIMILAR
FLR.	FLOOR	SPEC.	SPECIFICATIONS
FNDR.	FOUNDATION	S.P.	STANDPIPE
F.R.	FIRE-RESISTIVE OR FIRE-RATED	STL.	STEEL
F.O.W.	FACE OF WALL (EXISTING)	STRUCT.	STRUCTURAL
F.S.	FLOOR SINK	SUSP.	SUSPENDED
F.V.	FIELD VERIFY	TB.	TACK BOARD
GA.	GALVE	TEMP.	TEMPERED
GALV.	GALVANIZED	T.O.	TOP OF
GR.	GROMMET	TYP.	TYPICAL
GYP. BD.	GYP. BOARD	U.L.	UNDERWRITERS LABORATORIES
HT.	HEIGHT	U.N.O.	UNLESS NOTED OTHERWISE
H.M.	HOLLOW METAL	WC.	WOOD CLOSET
I.D.	INSIDE DIAMETER	WD.	WOOD
JT.	JOINT	W.P.	WORKING POINT
LAV.	LAVATORY	WJ.	WITH
M.B.	MARKER BOARD	W.W.F.	WELDED WIRE FABRIC
		X.	EXISTING

DRAWING SYMBOLS

WALL SECTION/DETAIL MARK	
ELEVATION MARK	
DETAIL REFERENCE MARK	
PLAN REFERENCE MARK	
INTERIOR ELEVATIONS	
DOOR MARK	
WINDOW MARK	
ELEVATION DATUM	
REVISION MARK & CLOUD	
CEILING TAG	
FLOOR FINISH CALL OUT	
DIMENSIONING	
SHEATHING PER STRUC., FIN. PER ELEVATIONS	
1/2" GYP. INT.	
INT. 2X4 WALL	
1/2" GYP. BOTH SIDES, EXCEPT AT SHAFT WALLS	
INT. 2X6 WALL	
1/2" GYP. BOTH SIDES, EXCEPT AT SHAFT WALLS	
2X6 FIREWALL	

APPLICABLE BUILDING CODES/REFERENCES

2015 INTERNATIONAL BUILDING CODE	SPRINKLERED: YES
2015 INTERNATIONAL FIRE CODE	FIRE ALARM SYSTEM: NO
2015 INTERNATIONAL RESIDENTIAL CODE	TYPE OF CONSTRUCTION: TYPE V-A
2015 UNIFORM PLUMBING CODE	OCCUPANCY: GROUP R-2
2015 WASHINGTON STATE ENERGY CODE	
ANACORTES MUNICIPAL CODE	

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REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 2	5/23/2022
ADDENDUM 3	6/03/2022

SHEET

ATS

TITLE SHEET

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

SHEET
A200

TWO BEDROOM
 FLOOR PLAN &
 INTERIOR ELEVATIONS

GENERAL NOTES

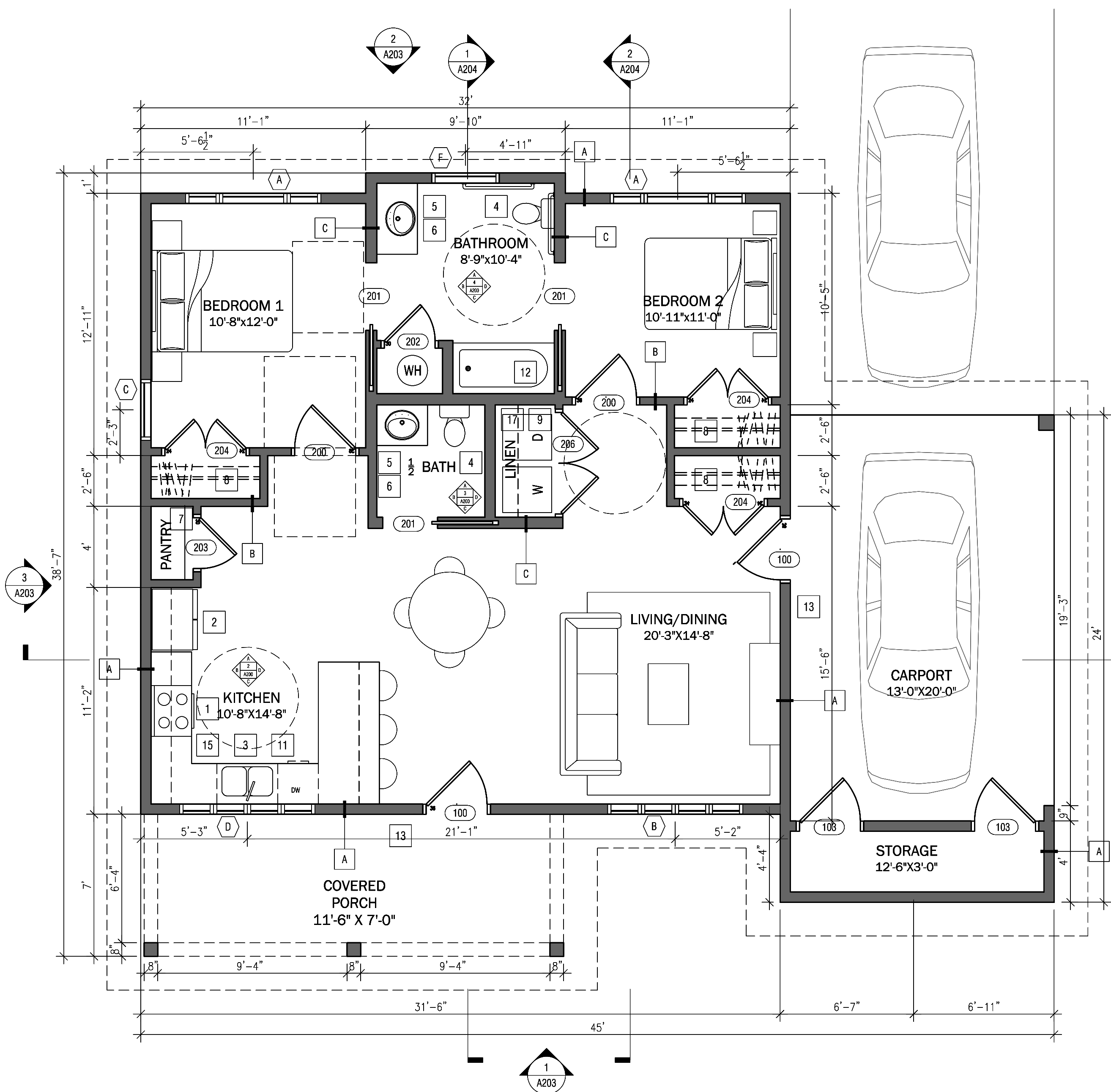
- REFER TO CIVIL SHEETS FOR BUILDING LOCATIONS, SITE GRADING AND ADDITIONAL INFORMATION
- SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- SEE ATS FOR LEGEND AND MATERIALS NOT SHOWN
- SEE A001 & A002 FOR ADDITIONAL SPECIFICATIONS
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS
- ALL WALL DIMENSIONS TO EDGE OF FRAMING OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- SEE STRUCTURAL SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED.
- FOUNDATIONS TO BE C.I.P. . SEE S SHEETS FOR ADDITIONAL INFORMATION.
- SEE A404 FOR WINDOW AND DOOR SCHEDULES. FINAL R.O. PER DOOR/WDW MFR
- ALL INTERIOR DOORS NOT DIMENSIONED SHALL BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- ALL WALL SURFACES IN BATHROOMS, WET LOCATIONS, RANGE TOP AND HOT WATER HEATER TO RECEIVE 1/2" WATER RESISTANT GYP.
- PROVIDE BLOCKING FOR ALL WALL MOUNTED DEVICES; SUCH AS, BUT NOT LIMITED TO: CABINETS, SHELVES, HARDWARE, TOILET ACCESSORIES AND ALL GRAB BARS. PROVIDE BLOCKING IN ALL BATHROOMS FOR FUTURE GRAB BAR INSTALLATION.
- TEXTURE ALL DRYWALL TO BE ORANGE PEEL APPLIED PER SPECS. FINISH THROUGHOUT PRIOR TO PAINTING.
- SEE A402 FOR TYP. WALL TYPES
- MIN. INSULATION REQUIREMENTS CLIMATE ZONE 4C:
 ROOF/ ATTIC ASSEMBLY- R-49
 EXTERIOR CAVITY WALLS- R-21
 SLAB- R-10 (UNDER ENTIRE SLAB)
- PROVIDE PASSIVE RADON SYSTEM PER MEP SHEETS & DETAIL 3/A402
- ALL INTERIOR PAINTS MUST COMPLY WITH GREEN SEAL STANDARDS FOR LOW VOC LIMITS
- BUILDING ENVELOPE TO HAVE AN AIR LEAKAGE RATING OF LESS THAN OR EQUAL TO 0.40 CFM/SQ.FT. MAXIMUM 5 AIR CHANGES PER HOUR. A BLOWER DOOR TEST IS REQUIRED BY THE WASHINGTON STATE ENERGY CODE R402.4.1.2 TESTING FOR EACH HOUSING UNIT. TEST TO BE PAID FOR AND COORDINATED BY CONTRACTOR.
- EACH DWELLING UNIT IS DESIGNED TO COMPLY WITH OPTIONS 1A AND 3D OF TABLE R406.2

KEYNOTES

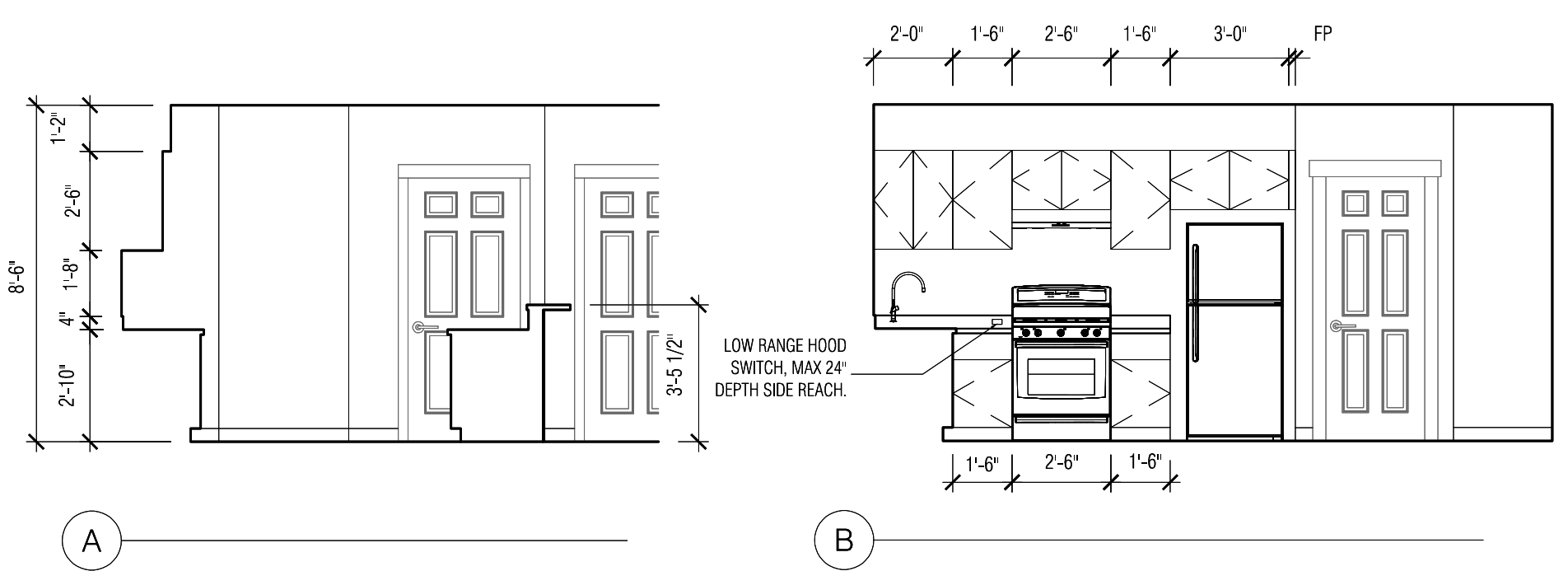
- FREE STANDING OVEN W/ HOOD VENTED TO EXTERIOR (REFERENCE SPEC. SHEETS)
- REFRIGERATOR (RE: SPECIFICATIONS)
- KITCHEN SINK (PER PLUMBING SHEETS)
- TOILET (PER PLUMBING SHEETS, ADA AS REQUIRED)
- BATHROOM VANITY (SEE INTERIOR ELEVATIONS) AND SINK (PER PLUMBING SHEETS). ADA VANITY AT ADA UNITS.
- BATHROOM ACCESSORIES- TOILET PAPER HOLDER, TOWEL BAR, ROBE HOOK, SHOWER CURTAIN ROD, MIRROR (ONE BEHIND ALL SINKS), MEDICINE CABINET (FULL BATHS ONLY), AND GRAB BARS AS REQUIRED BY ADA AT TOILETS AT ADA UNITS (REFERENCE SPECIFICATION SHEETS).
- PROVIDE (4) TIERS OF 16" DEEP SHELVING INSTALLED AT 20", 30", 52" AND 68" AFF.
- CLOTHES ROD & SHELF AT ALL BEDROOM AND ENTRY CLOSETS.(RE:SPECIFICATIONS)
- WASHER AND DRYER (RE: SPECIFICATIONS)
- PRE FINISHED 5" GUTTER AND 2"x3" DOWNSPOUT AND SCUPPER. RUN TO SPLASHBLOCK THAT TERMINATES 5'-0" FROM FOUNDATION.
- KITCHEN CABINETS PER SPEC. ALL KITCHEN CABINETS TO BE ADA HEIGHT CABINETS THAT ARE BLOCKED UP TO STANDARD HEIGHT FOR COUNTERTOP INSTALL (THIS WILL ALLOW FOR EASIER CONVERSION TO ADA UNITS IN THE FUTURE). ADA COMPLIANT CABINETS WITH REMOVABLE BASE AT SINK LOCATION.
- BATH/SHOWER ENCLOSURE PER MEP SPEC. ALL ADA UNIT SHOWERS TO HAVE TILED SHOWER BASE AND FLOOR. SLOPE CONCRETE 2% TO DRAIN. SEE A002 FOR TILE SPECS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM EXTERIOR DOORS AT ALL EXTERIOR PATIOS AND CARPORTS.
- ATTIC ACCESS HATCH PER SPECIFICATION
- 15" DEEP SOFFITS ABOVE KITCHEN CABINETS
- PRE-FAB WOOD TRUSS. ENERGY HEEL.
- SHELF ABOVE WASHER/DRYER
- SOFFIT PANEL PER SPECIFICATION.
- LAP SIDING PER SPECIFICATION.

LEGEND

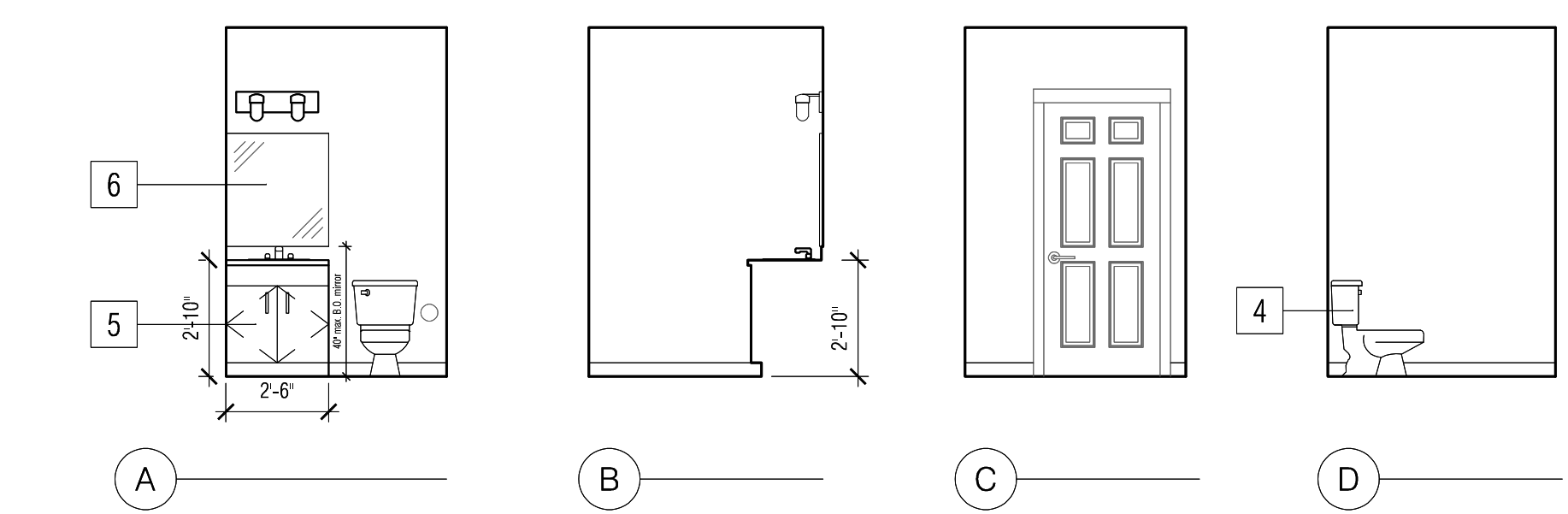
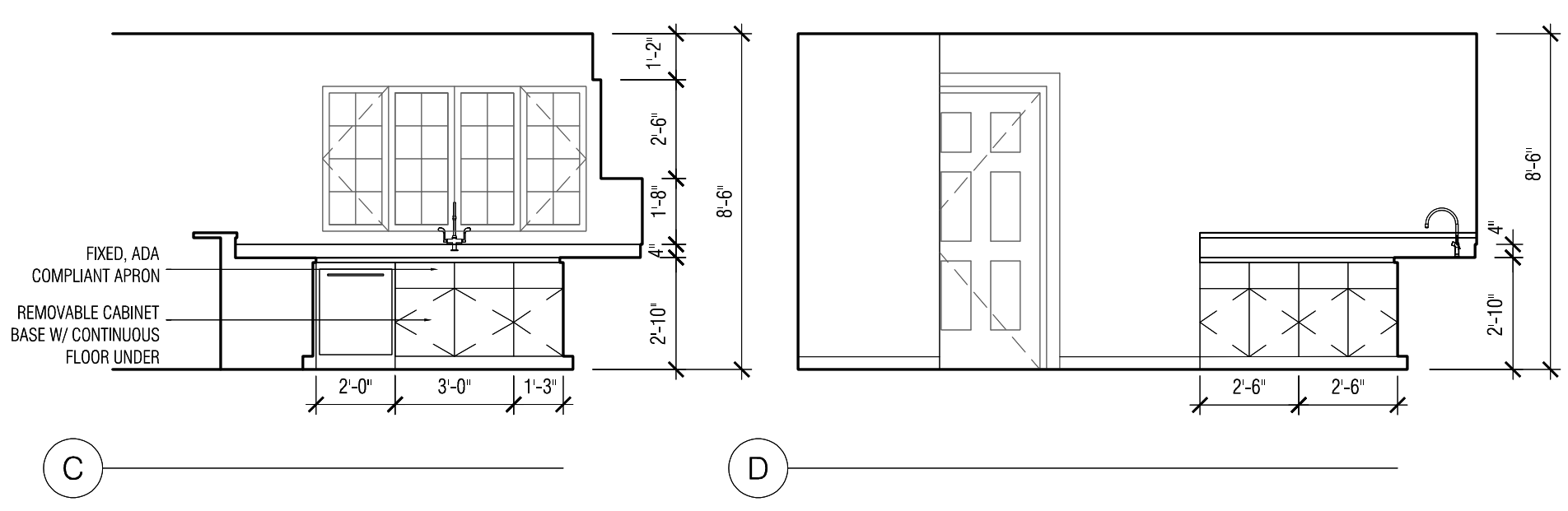
	METAL ROOF		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	LAP SIDING, COLORS TBD BY OWNER.		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	VERTICAL SIDING, COLORS TBD BY OWNER.		LP SMARTSIDE SOFFIT BOARD VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



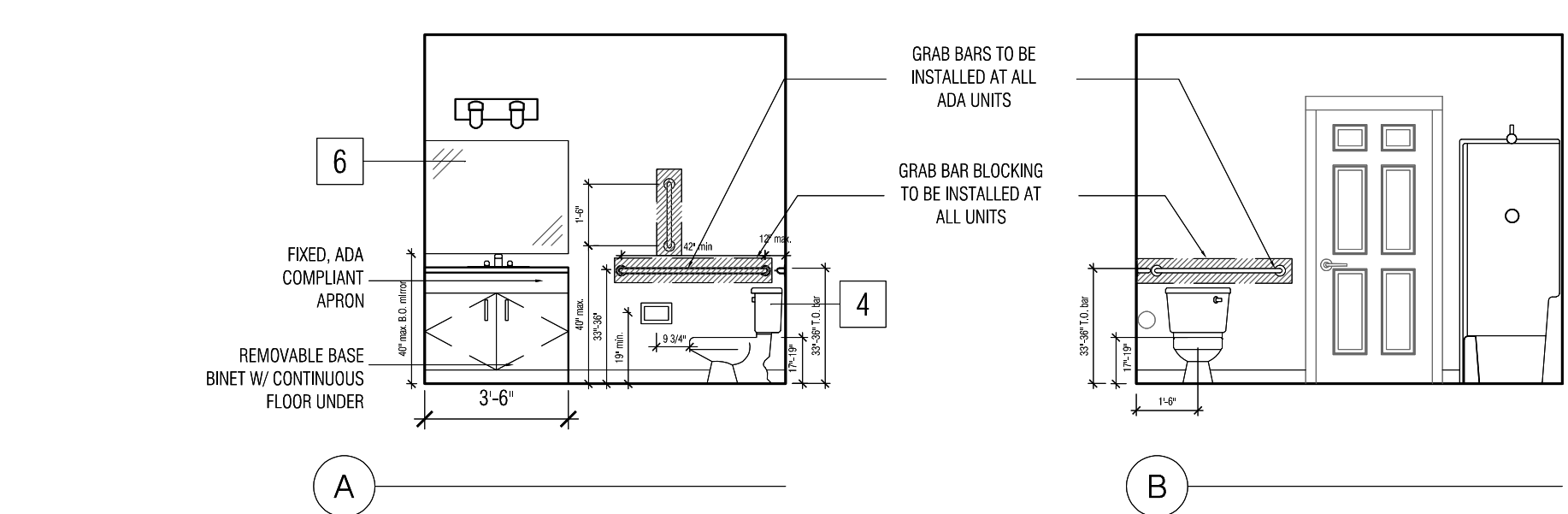
FLOOR PLAN 1
 Scale: 1/4" = 1'-0"



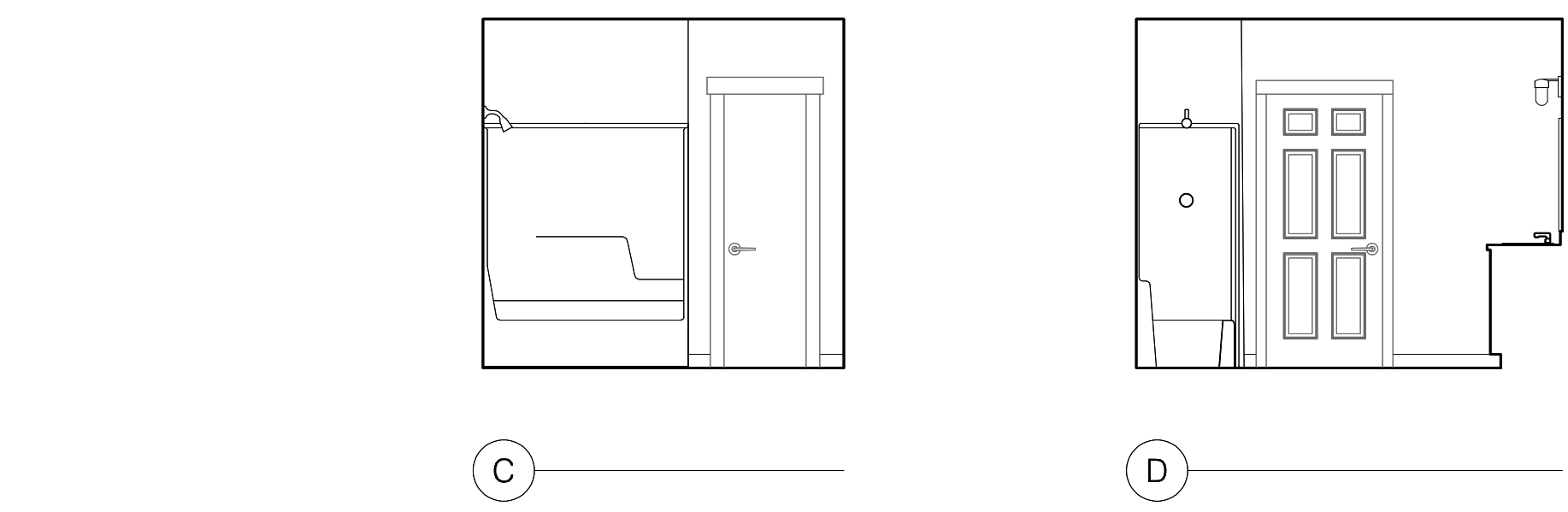
KITCHEN 2
 Scale: 1/4" = 1'-0"



1/2 BATH 3
 Scale: 1/4" = 1'-0"



BATHROOM 4
 Scale: 1/4" = 1'-0"



REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM ¹	5/09/2022
ADDENDUM ²	5/23/2022
ADDENDUM ³	6/03/2022

SHEET

A201

TWO BEDROOM
 RCP


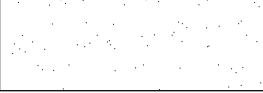
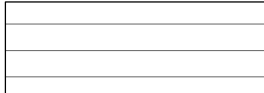

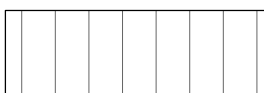

GENERAL NOTES

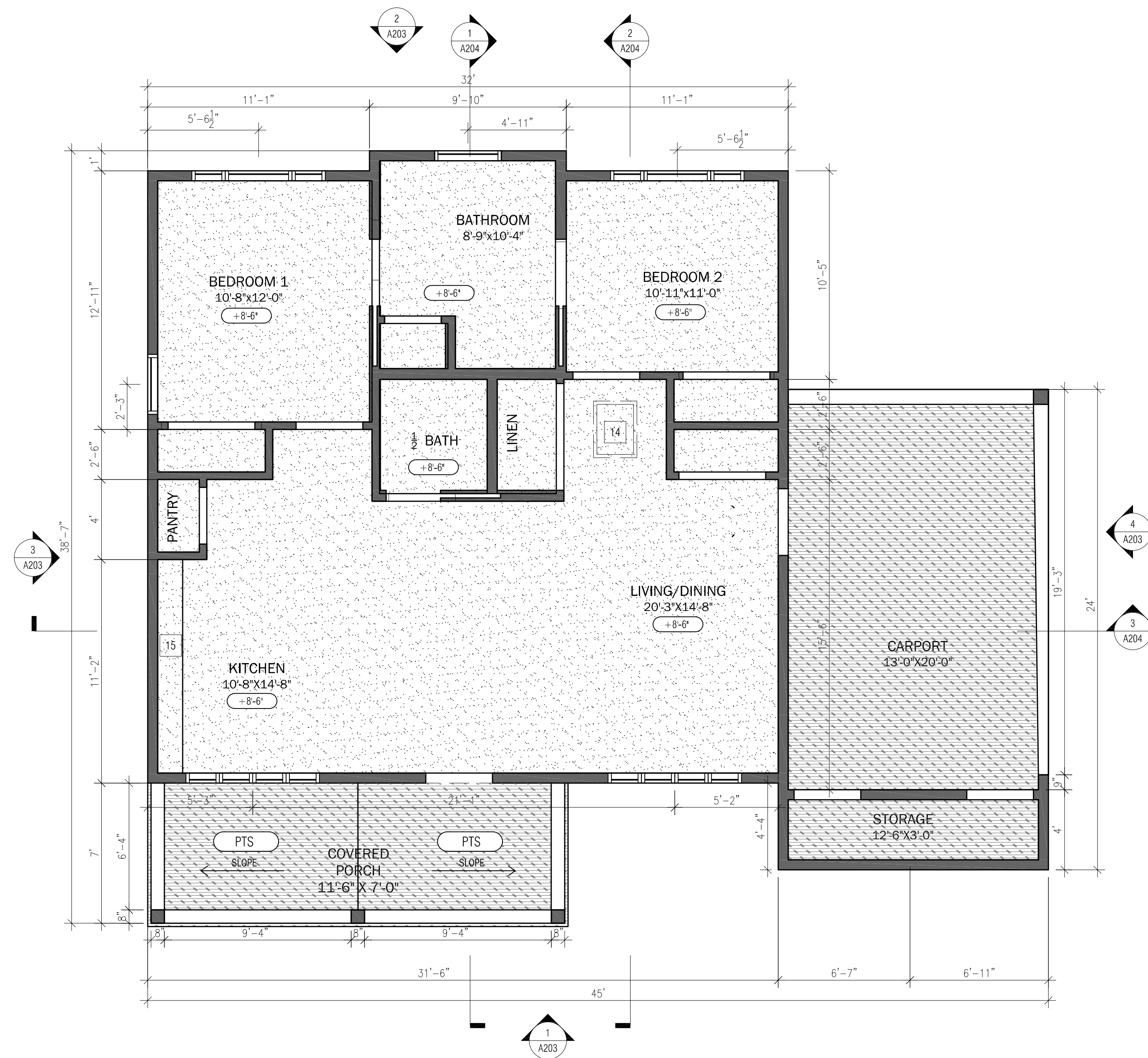
- REFER TO CIVIL SHEETS FOR BUILDING LOCATIONS, SITE GRADING AND ADDITIONAL INFORMATION
- SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- SEE ATS FOR LEGEND AND MATERIALS NOT SHOWN
- SEE A001 & A002 FOR ADDITIONAL SPECIFICATIONS
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS
- ALL WALL DIMENSIONS TO EDGE OF FRAMING OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- SEE STRUCTURAL SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED.
- FOUNDATIONS TO BE C.I.P. . SEE S SHEETS FOR ADDITIONAL INFORMATION.
- SEE A404 FOR WINDOW AND DOOR SCHEDULES. FINAL R.O. PER DOOR/WDW MFR
- ALL INTERIOR DOORS NOT DIMENSIONED SHALL BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- ALL WALL SURFACES IN BATHROOMS, WET LOCATIONS, RANGE TOP AND HOT WATER HEATER TO RECEIVE 3/4" WATER RESISTANT GYP.
- PROVIDE BLOCKING FOR ALL WALL MOUNTED DEVICES: SUCH AS, BUT NOT LIMITED TO: CABINETS, SHELVES, HARDWARE, TOILET ACCESSORIES AND ALL GRAB BARS. PROVIDE BLOCKING IN ALL BATHROOMS FOR FUTURE GRAB BAR INSTALLATION.
- TEXTURE ALL DRYWALL TO BE ORANGE PEEL APPLIED PER SPECS. FINISH THROUGHOUT PRIOR TO PAINTING.
- SEE A402 FOR TYP. WALL TYPES
- MIN. INSULATION REQUIREMENTS CLIMATE ZONE 4C:
 ROOF/ ATTIC ASSEMBLY- R-49
 EXTERIOR CAVITY WALLS- R-21
 SLAB- R-10 (UNDER ENTIRE SLAB)
- PROVIDE PASSIVE RADON SYSTEM PER MEP SHEETS & DETAIL 3/A402
- ALL INTERIOR PAINTS MUST COMPLY WITH GREEN SEAL STANDARDS FOR LOW VOC LIMITS
- BUILDING ENVELOPE TO HAVE AND AIR LEAKAGE RATING OF LESS THAN OR EQUAL TO 0.40 CFM/SQ.FT. MAXIMUM 5 AIR CHANGES PER HOUR. A BLOWER DOOR TEST IS REQUIRED BY THE WASHINGTON STATE ENERGY CODE R402.4.1.2 TESTING FOR EACH HOUSING UNIT. TEST TO BE PAID FOR AND COORDINATED BY CONTRACTOR.
- EACH DWELLING UNIT IS DESIGNED TO COMPLY WITH OPTIONS 1A AND 3D OF TABLE R406.2

KEYNOTES

- FREE STANDING OVEN W/ HOOD VENTED TO EXTERIOR (REFERENCE SPEC. SHEETS)
- REFRIGERATOR (RE: SPECIFICATIONS)
- KITCHEN SINK (PER PLUMBING SHEETS)
- TOILET (PER PLUMBING SHEETS, ADA AS REQUIRED)
- BATHROOM VANITY (SEE INTERIOR ELEVATIONS) AND SINK (PER PLUMBING SHEETS). ADA VANITY AT ADA UNITS.
- BATHROOM ACCESSORIES- TOILET PAPER HOLDER, TOWEL BAR, ROBE HOOK, SHOWER CURTAIN ROD, MIRROR (ONE BEHIND ALL SINKS), MEDICINE CABINET (FULL BATHS ONLY), AND GRAB BARS AS REQUIRED BY ADA AT TOILETS AT ADA UNITS (REFERENCE SPECIFICATION SHEETS).
- PROVIDE (4) TIERS OF 16" DEEP SHELVING INSTALLED AT 20", 30", 52" AND 68" AFF.
- CLOTHES ROD & SHELF AT ALL BEDROOM AND ENTRY CLOSETS.(RE:SPECIFICATIONS)
- WASHER AND DRYER (RE: SPECIFICATIONS)
- PRE FINISHED 5" GUTTER AND 2"x3" DOWNSPOUT AND SCUPPER. RUN TO SPLASHBLOCK THAT TERMINATES 5'-0" FROM FOUNDATION.
- KITCHEN CABINETS PER SPEC. ALL KITCHEN CABINETS TO BE ADA HEIGHT CABINETS THAT ARE BLOCKED UP TO STANDARD HEIGHT FOR COUNTERTOP INSTALL (THIS WILL ALLOW FOR EASIER CONVERSION TO ADA UNITS IN THE FUTURE). ADA COMPLIANT CABINETS WITH REMOVABLE BASE AT SINK LOCATION.
- BATH/SHOWER ENCLOSURE PER MEP SPEC. ALL ADA UNIT SHOWERS TO HAVE TILED SHOWER BASE AND FLOOR. SLOPE CONCRETE 2% TO DRAIN. SEE A002 FOR TILE SPECS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM EXTERIOR DOORS AT ALL EXTERIOR PATIOS AND CARPORTS.
- ATTIC ACCESS HATCH PER SPECIFICATION
- 15" DEEP SOFFITS ABOVE KITCHEN CABINETS
- PRE-FAB WOOD TRUSS. ENERGY HEEL.
- SHELF ABOVE WASHER/DRYER
- SOFFIT PANEL PER SPECIFICATION.
- LAP SIDING PER SPECIFICATION.

LEGEND

	METAL ROOF		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	LAP SIDING, COLORS TBD BY OWNER.		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	VERTICAL SIDING, COLORS TBD BY OWNER.		LP SMARTSIDE SOFFIT BOARD VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



REFLECTED CEILING PLAN 1

Scale: 1/4" = 1'-0"

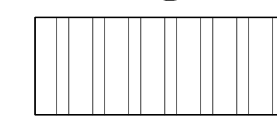
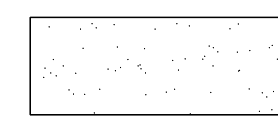
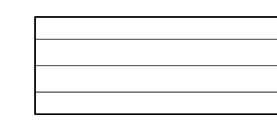
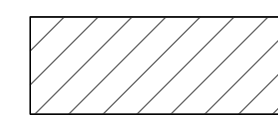
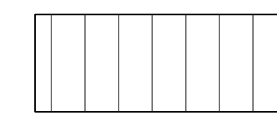
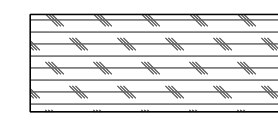
GENERAL NOTES

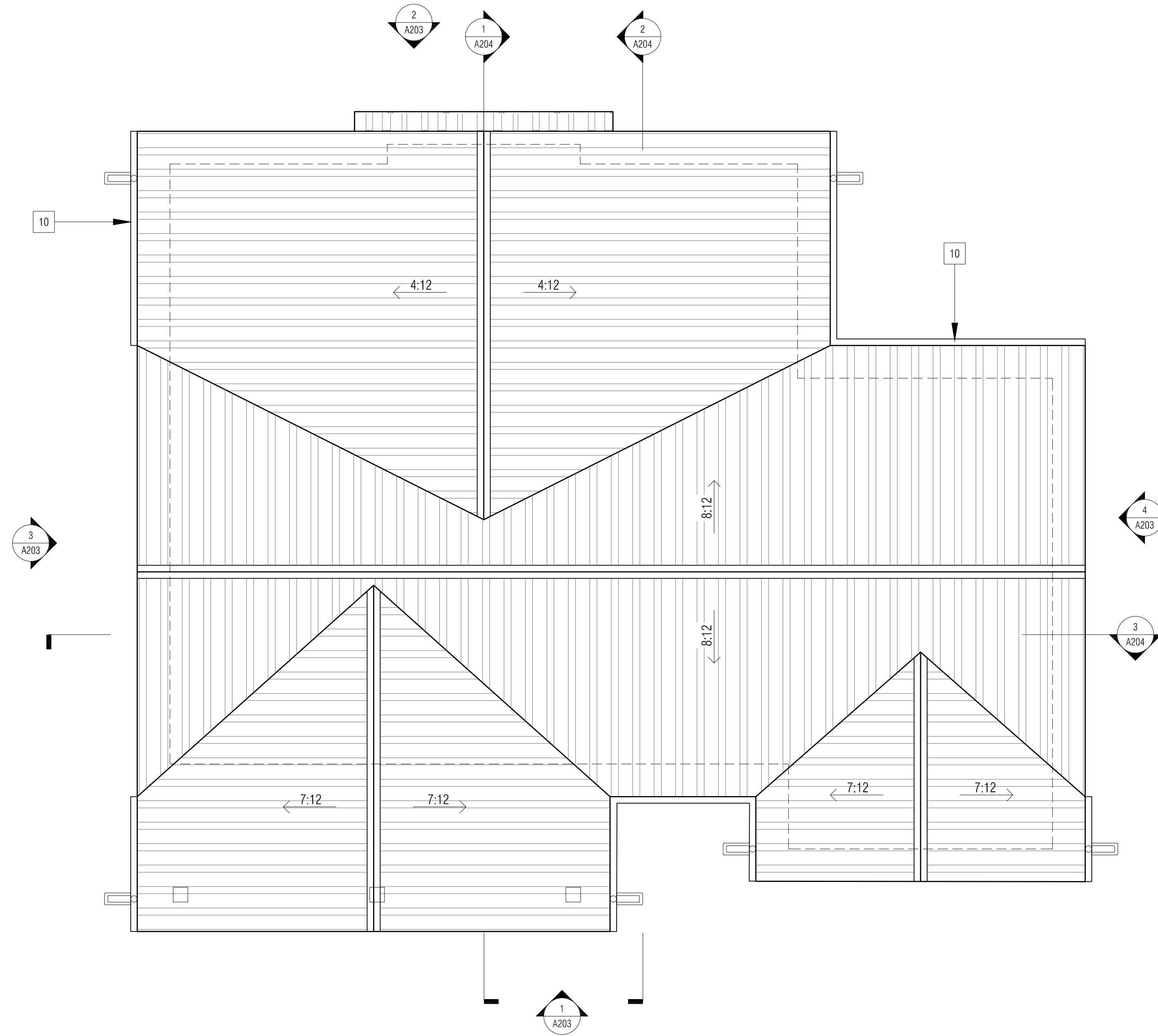
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2. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
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5. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS
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9. SEE A404 FOR WINDOW AND DOOR SCHEDULES. FINAL R.O. PER DOOR/WDW MFR
10. ALL INTERIOR DOORS NOT DIMENSIONED SHALL BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
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13. TEXTURE ALL DRYWALL TO BE ORANGE PEEL APPLIED PER SPECS. FINISH THROUGHOUT PRIOR TO PAINTING.
14. SEE A402 FOR TYP. WALL TYPES
15. MIN. INSULATION REQUIREMENTS CLIMATE ZONE 4C:
ROOF/ ATTIC ASSEMBLY- R-49
EXTERIOR CAVITY WALLS- R-21
SLAB- R-10 (UNDER ENTIRE SLAB)
16. PROVIDE PASSIVE RADON SYSTEM PER MEP SHEETS & DETAIL 3/A402
17. ALL INTERIOR PAINTS MUST COMPLY WITH GREEN SEAL STANDARDS FOR LOW VOC LIMITS
18. BUILDING ENVELOPE TO HAVE AN AIR LEAKAGE RATING OF LESS THAN OR EQUAL TO 0.40 CFM/SQ.FT. MAXIMUM 5 AIR CHANGES PER HOUR. A BLOWER DOOR TEST IS REQUIRED BY THE WASHINGTON STATE ENERGY CODE R402.4.1.2 TESTING FOR EACH HOUSING UNIT. TEST TO BE PAID FOR AND COORDINATED BY CONTRACTOR.
19. EACH DWELLING UNIT IS DESIGNED TO COMPLY WITH OPTIONS 1A AND 3D OF TABLE R406.2

KEYNOTES

- 1 FREE STANDING OVEN W/ HOOD VENTED TO EXTERIOR (REFERENCE SPEC. SHEETS)
- 2 REFRIGERATOR (RE: SPECIFICATIONS)
- 3 KITCHEN SINK (PER PLUMBING SHEETS)
- 4 TOILET (PER PLUMBING SHEETS, ADA AS REQUIRED)
- 5 BATHROOM VANITY (SEE INTERIOR ELEVATIONS) AND SINK (PER PLUMBING SHEETS). ADA VANITY AT ADA UNITS.
- 6 BATHROOM ACCESSORIES- TOILET PAPER HOLDER, TOWEL BAR, ROBE HOOK, SHOWER CURTAIN ROD, MIRROR (ONE BEHIND ALL SINKS), MEDICINE CABINET (FULL BATHS ONLY), AND GRAB BARS AS REQUIRED BY ADA AT TOILETS AT ADA UNITS (REFERENCE SPECIFICATION SHEETS).
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- 9 WASHER AND DRYER (RE: SPECIFICATIONS)
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- 12 BATH/SHOWER ENCLOSURE PER MEP SPEC. ALL ADA UNIT SHOWERS TO HAVE TILED SHOWER BASE AND FLOOR. SLOPE CONCRETE 2% TO DRAIN. SEE A002 FOR TILE SPECS.
- 13 PROVIDE POSITIVE DRAINAGE AWAY FROM EXTERIOR DOORS AT ALL EXTERIOR PATIOS AND CARPORTS.
- 14 ATTIC ACCESS HATCH PER SPECIFICATION
- 15 15" DEEP SOFFITS ABOVE KITCHEN CABINETS
- 16 PRE-FAB WOOD TRUSS. ENERGY HEEL.
- 17 SHELF ABOVE WASHER/DRYER
- 18 SOFFIT PANEL PER SPECIFICATION.
- 19 LAP SIDING PER SPECIFICATION.

LEGEND

	METAL ROOF		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	LAP SIDING. COLORS TBD BY OWNER.		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	VERTICAL SIDING. COLORS TBD BY OWNER.		LP SMARTSIDE SOFFIT BOARD VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



ROOF PLAN 1
Scale: 1/4" = 1'-0"

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

SHEET
A202

TWO BEDROOM
ROOF PLAN

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

SHEET
A203

TWO BEDROOM
 ELEVATIONS

GENERAL NOTES

- REFER TO CIVIL SHEETS FOR BUILDING LOCATIONS, SITE GRADING AND ADDITIONAL INFORMATION
- SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- SEE ATS FOR LEGEND AND MATERIALS NOT SHOWN
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- SEE A402 FOR TYP. WALL TYPES
- MIN. INSULATION REQUIREMENTS CLIMATE ZONE 4C:
 ROOF/ ATTIC ASSEMBLY- R-49
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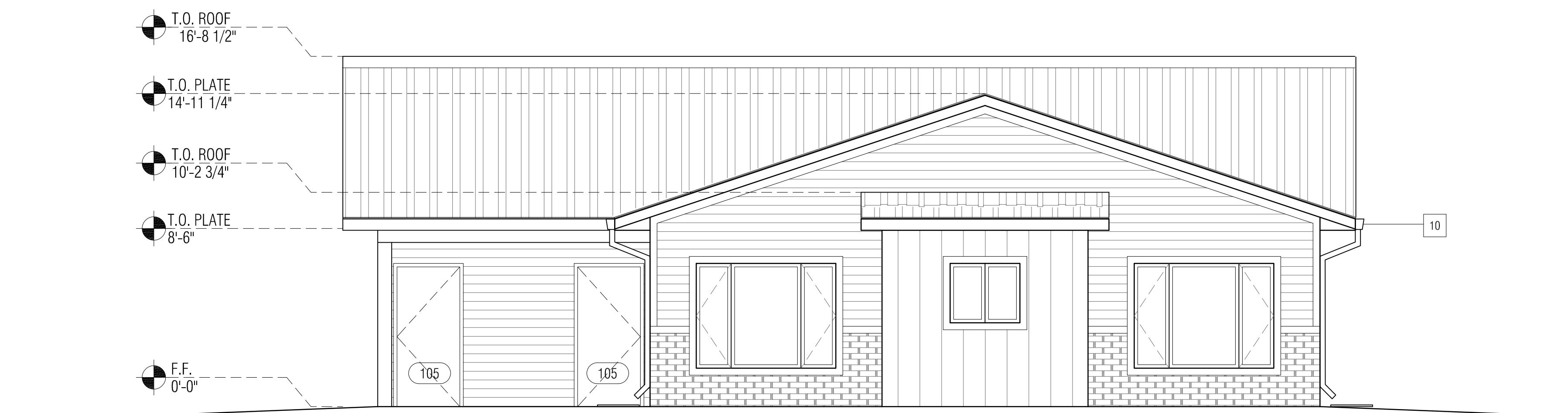
LEGEND

	METAL ROOF		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	LAP SIDING. COLORS TBD BY OWNER.		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	VERTICAL SIDING. COLORS TBD BY OWNER.		LP SMARTSIDE SOFFIT BOARD VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



FRONT ELEVATION 1

Scale: 1/4" = 1'-0"



REAR ELEVATION 2

Scale: 1/4" = 1'-0"



SIDE ELEVATION 4

Scale: 1/4" = 1'-0"



SIDE ELEVATION 3

Scale: 1/4" = 1'-0"

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

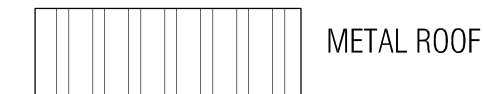
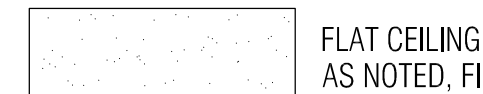
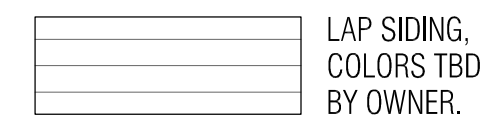
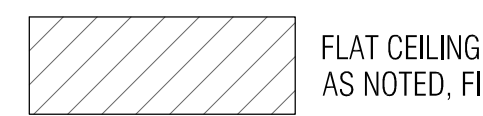
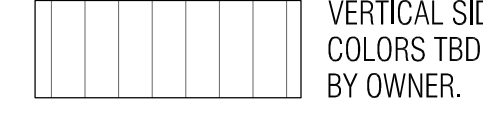

GENERAL NOTES

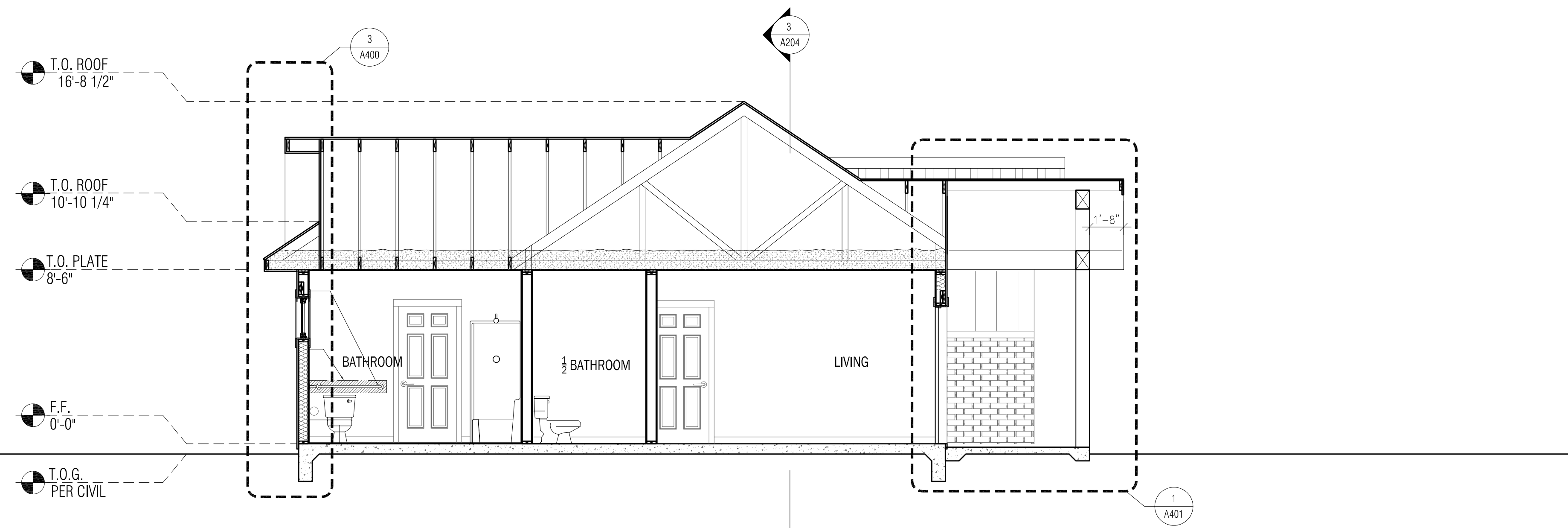
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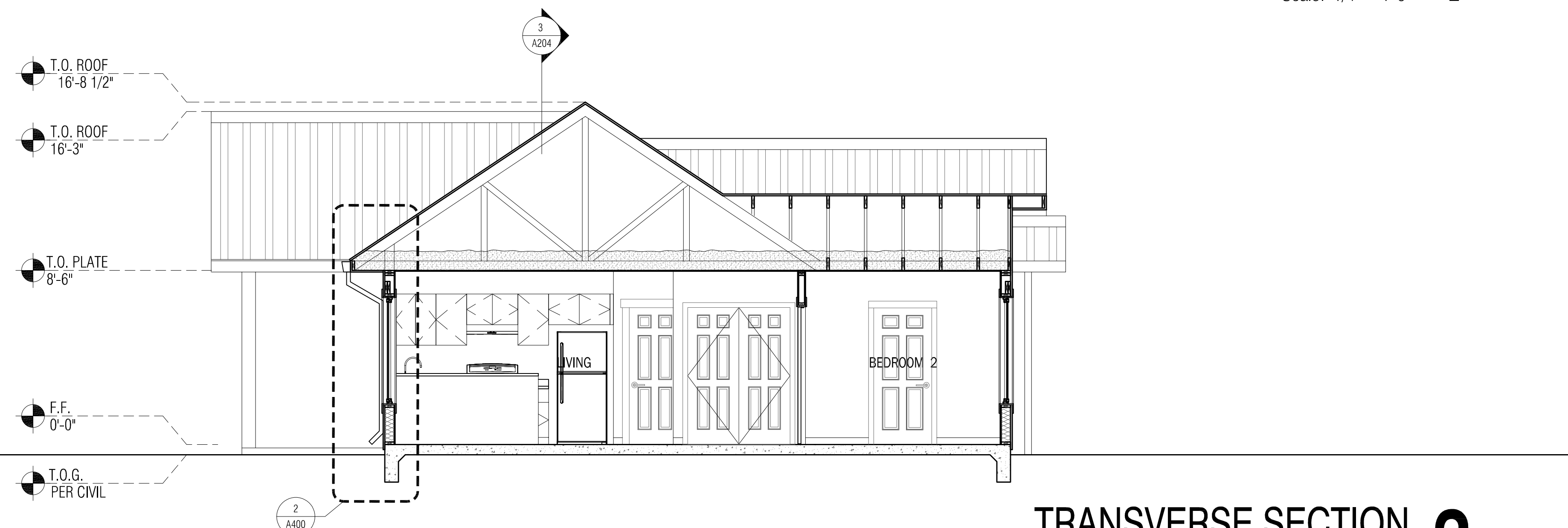
LEGEND

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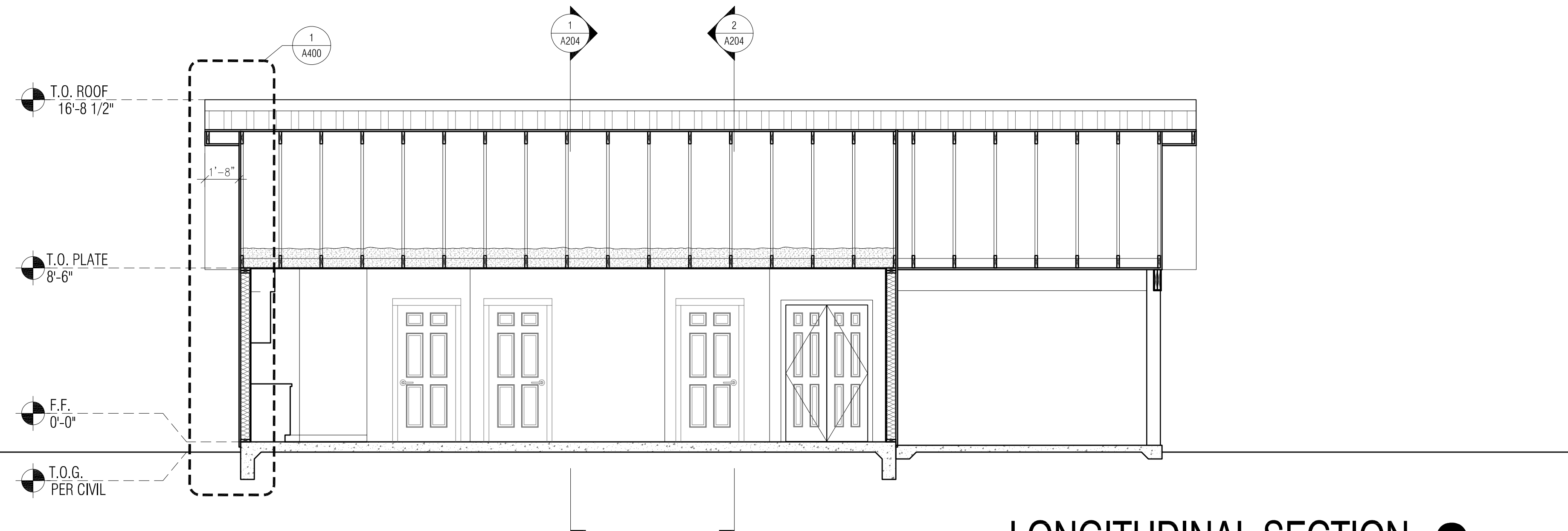
TRANSVERSE SECTION 1

Scale: 1/4" = 1'-0"



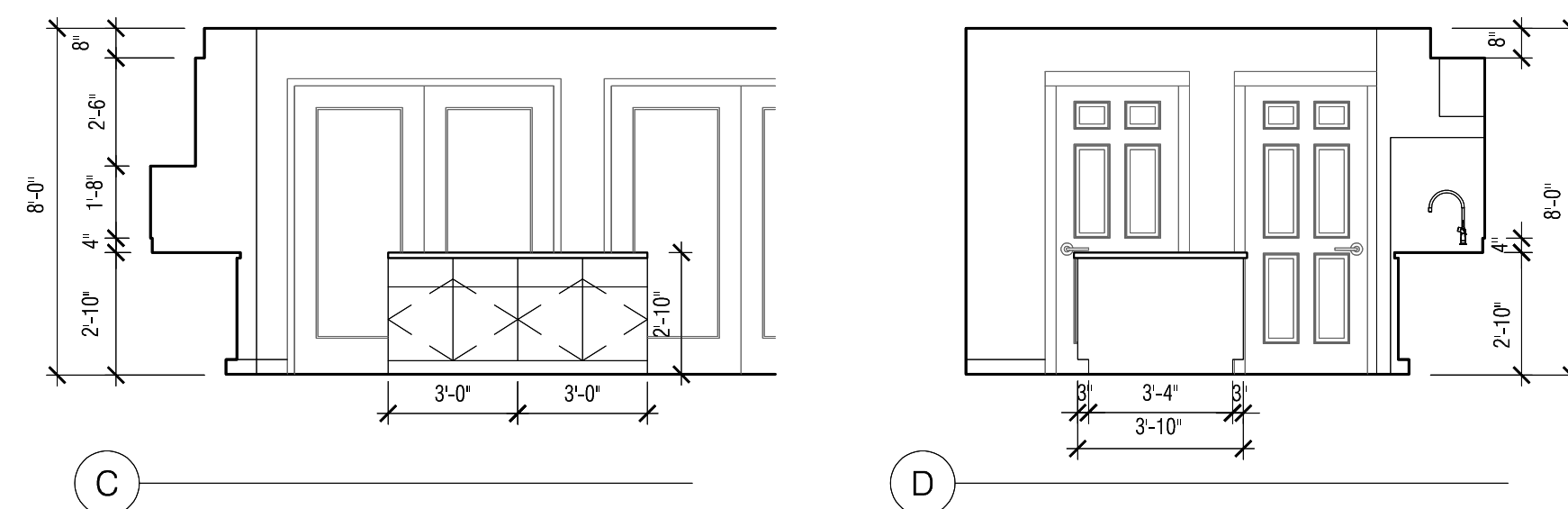
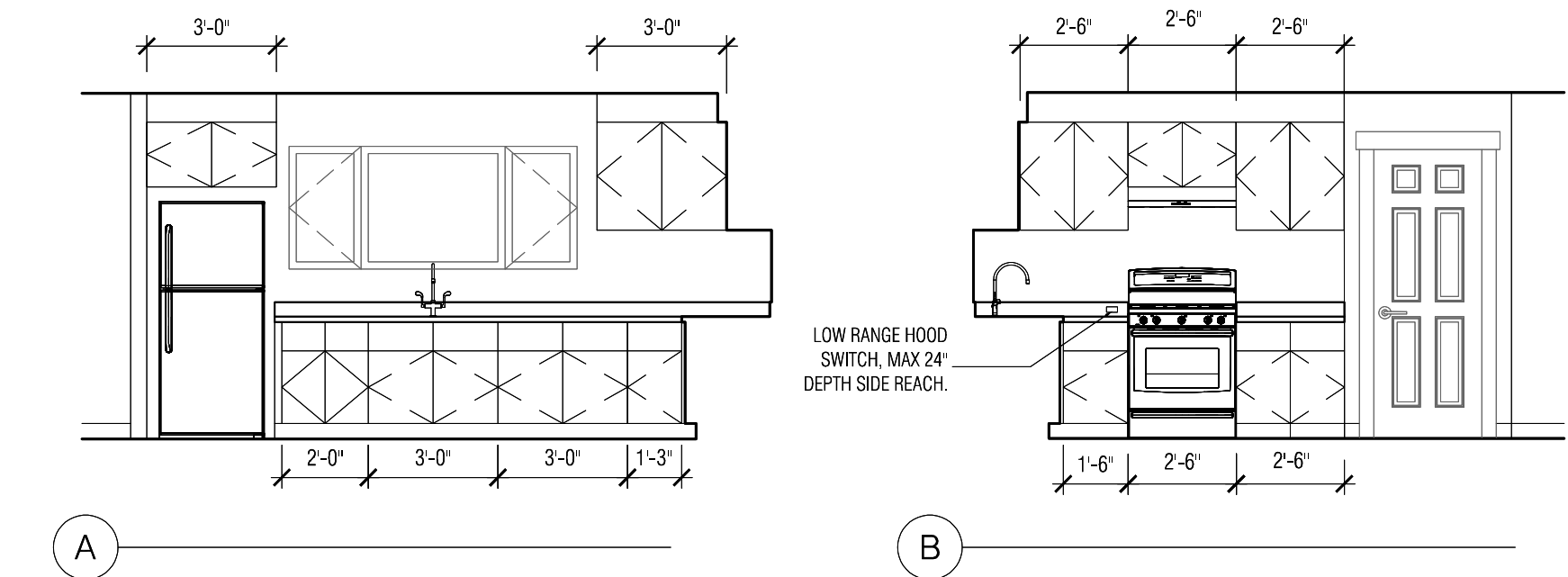
TRANSVERSE SECTION 2

Scale: 1/4" = 1'-0"



LONGITUDINAL SECTION 3

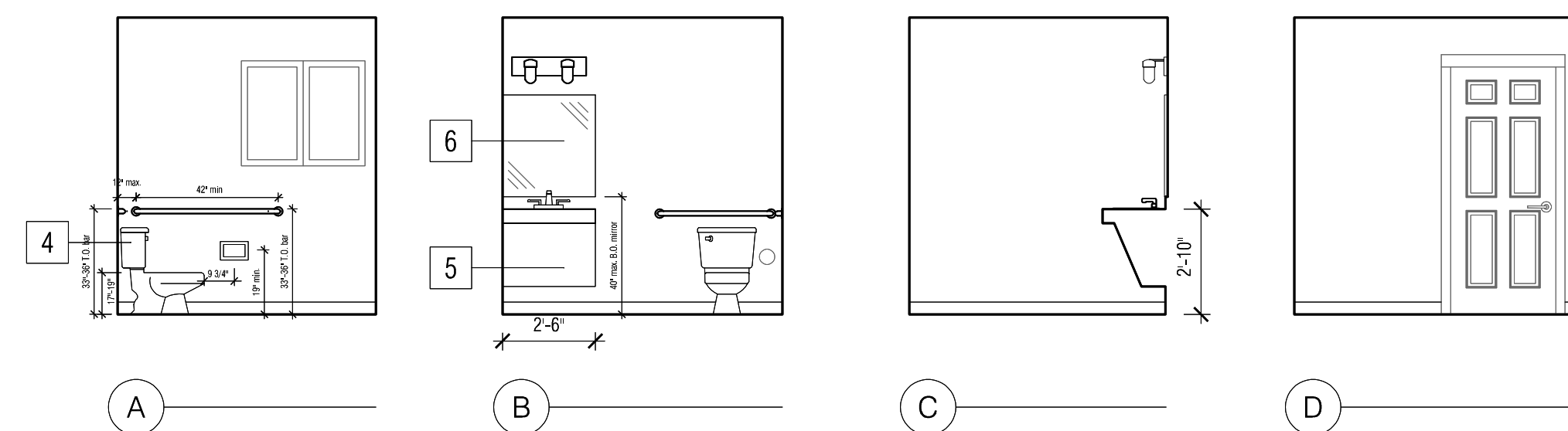
Scale: 1/4" = 1'-0"



LOW RANGE HOOD SWITCH, MAX 24" DEPTH SIDE REACH.

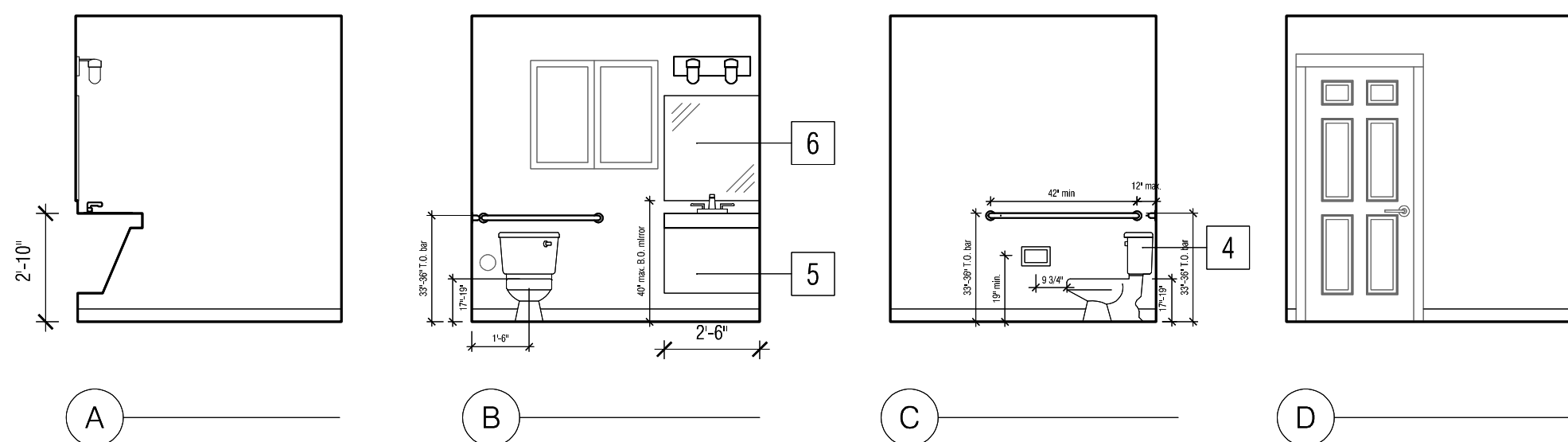
KITCHEN 2

Scale: 1/4" = 1'-0"



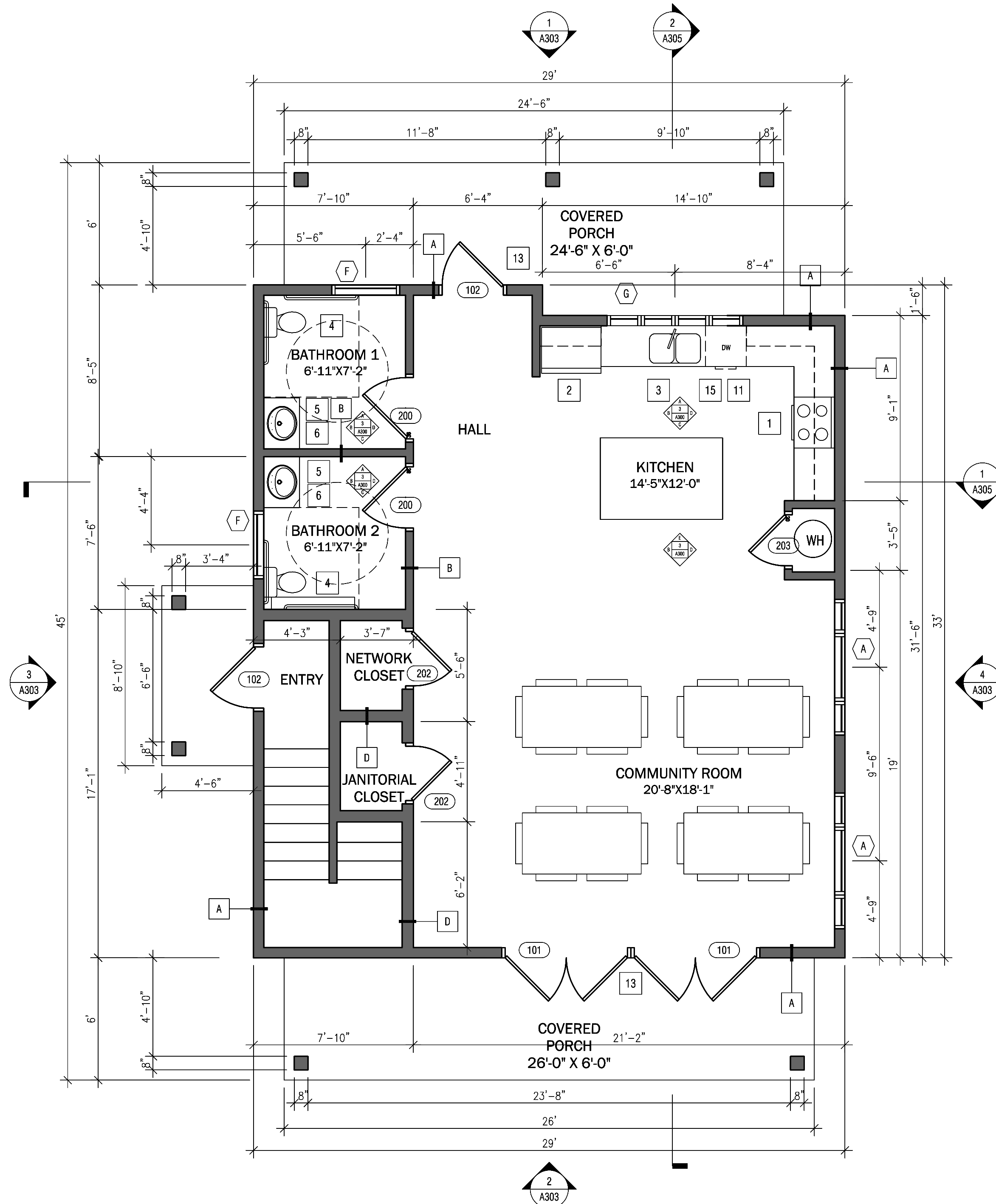
BATHROOM 1 3

Scale: 1/4" = 1'-0"



BATHROOM 2 4

Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN 1

Scale: 1/4" = 1'-0"

GENERAL NOTES

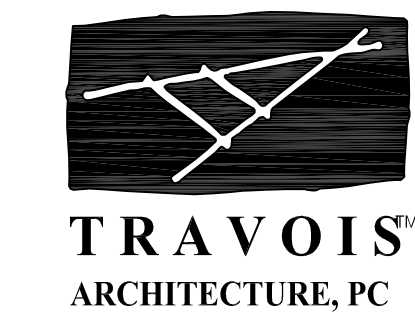
- REFER TO CIVIL SHEETS FOR BUILDING LOCATIONS, SITE GRADING AND ADDITIONAL INFORMATION
- SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- SEE ATS FOR LEGEND AND MATERIALS NOT SHOWN
- SEE A001 & A002 FOR ADDITIONAL SPECIFICATIONS
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS
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- SEE STRUCTURAL SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. FOUNDATIONS TO BE C.I.P. . SEE S SHEETS FOR ADDITIONAL INFORMATION.
- SEE A404 FOR WINDOW AND DOOR SCHEDULES. FINAL R.O. PER DOOR/WDW MFR
- ALL INTERIOR DOORS NOT DIMENSIONED SHALL BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- ALL WALL SURFACES IN BATHROOMS, WET LOCATIONS, RANGE TOP AND HOT WATER HEATER TO RECEIVE 1/2" WATER RESISTANT GYP.
- PROVIDE BLOCKING FOR ALL WALL MOUNTED DEVICES: SUCH AS, BUT NOT LIMITED TO: CABINETS, SHELVES, HARDWARE, TOILET ACCESSORIES AND ALL GRAB BARS. PROVIDE BLOCKING IN ALL BATHROOMS FOR FUTURE GRAB BAR INSTALLATION.
- TEXTURE ALL DRYWALL TO BE ORANGE PEEL APPLIED PER SPECS. FINISH THROUGHOUT PRIOR TO PAINTING.
- SEE A402 FOR TYP. WALL TYPES
- MIN. INSULATION REQUIREMENTS CLIMATE ZONE 4C:
ROOF/ ATTIC ASSEMBLY- R-49
EXTERIOR CAVITY WALLS- R-21
SLAB- R-10 (UNDER ENTIRE SLAB)
- PROVIDE PASSIVE RADON SYSTEM PER MEP SHEETS & DETAIL 3/A402
- ALL INTERIOR PAINTS MUST COMPLY WITH GREEN SEAL STANDARDS FOR LOW VOC LIMITS
- BUILDING ENVELOPE TO HAVE AN AIR LEAKAGE RATING OF LESS THAN OR EQUAL TO 0.40 CFM/SQ.FT. MAXIMUM 5 AIR CHANGES PER HOUR. A BLOWER DOOR TEST IS REQUIRED BY THE WASHINGTON STATE ENERGY CODE R402.4.1.2 TESTING FOR EACH HOUSING UNIT. TEST TO BE PAID FOR AND COORDINATED BY CONTRACTOR.
- EACH DWELLING UNIT IS DESIGNED TO COMPLY WITH OPTIONS 1A AND 3D OF TABLE R406.2

KEYNOTES

- FREE STANDING OVEN W/ HOOD VENTED TO EXTERIOR (REFERENCE SPEC. SHEETS)
- REFRIGERATOR (RE: SPECIFICATIONS)
- KITCHEN SINK (PER PLUMBING SHEETS)
- TOILET (PER PLUMBING SHEETS, ADA AS REQUIRED)
- BATHROOM VANITY (SEE INTERIOR ELEVATIONS) AND SINK (PER PLUMBING SHEETS). ADA VANITY AT ADA UNITS.
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- PROVIDE POSITIVE DRAINAGE AWAY FROM EXTERIOR DOORS AT ALL EXTERIOR PATIOS AND CARPORTS.
- ATTIC ACCESS HATCH PER SPECIFICATION
- 15" DEEP SOFFITS ABOVE KITCHEN CABINETS
- PRE-FAB WOOD TRUSS, ENERGY HEEL.
- SHELF ABOVE WASHER/DRYER
- SOFFIT PANEL PER SPECIFICATION.
- LAP SIDING PER SPECIFICATION.

LEGEND

	METAL ROOF		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	LAP SIDING, COLORS TBD BY OWNER.		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	VERTICAL SIDING, COLORS TBD BY OWNER.		LP SMARTSIDE SOFFIT BOARD VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



SAMISH 34th ST HOUSING
2109 34TH STREET
ANACORTES, WA 98221

TRAVOIS DESIGN
310 W. 19TH TERRACE
KANSAS CITY, MO 64108
P 816.994.8970
F 816.994.8974

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

SHEET
A300

COMMUNITY BUILDING
FIRST FLOOR PLAN &
INTERIOR ELEVATIONS -

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

SHEET
A301

COMMUNITY BUILDING
SECOND FLOOR PLAN &
INTERIOR ELEVATIONS

GENERAL NOTES

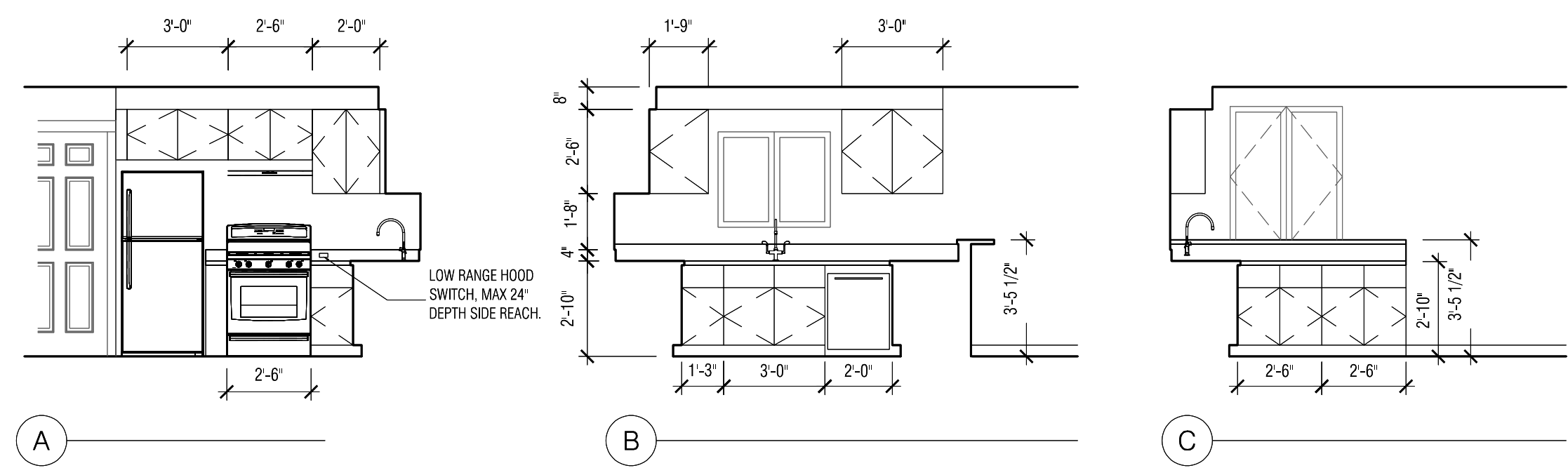
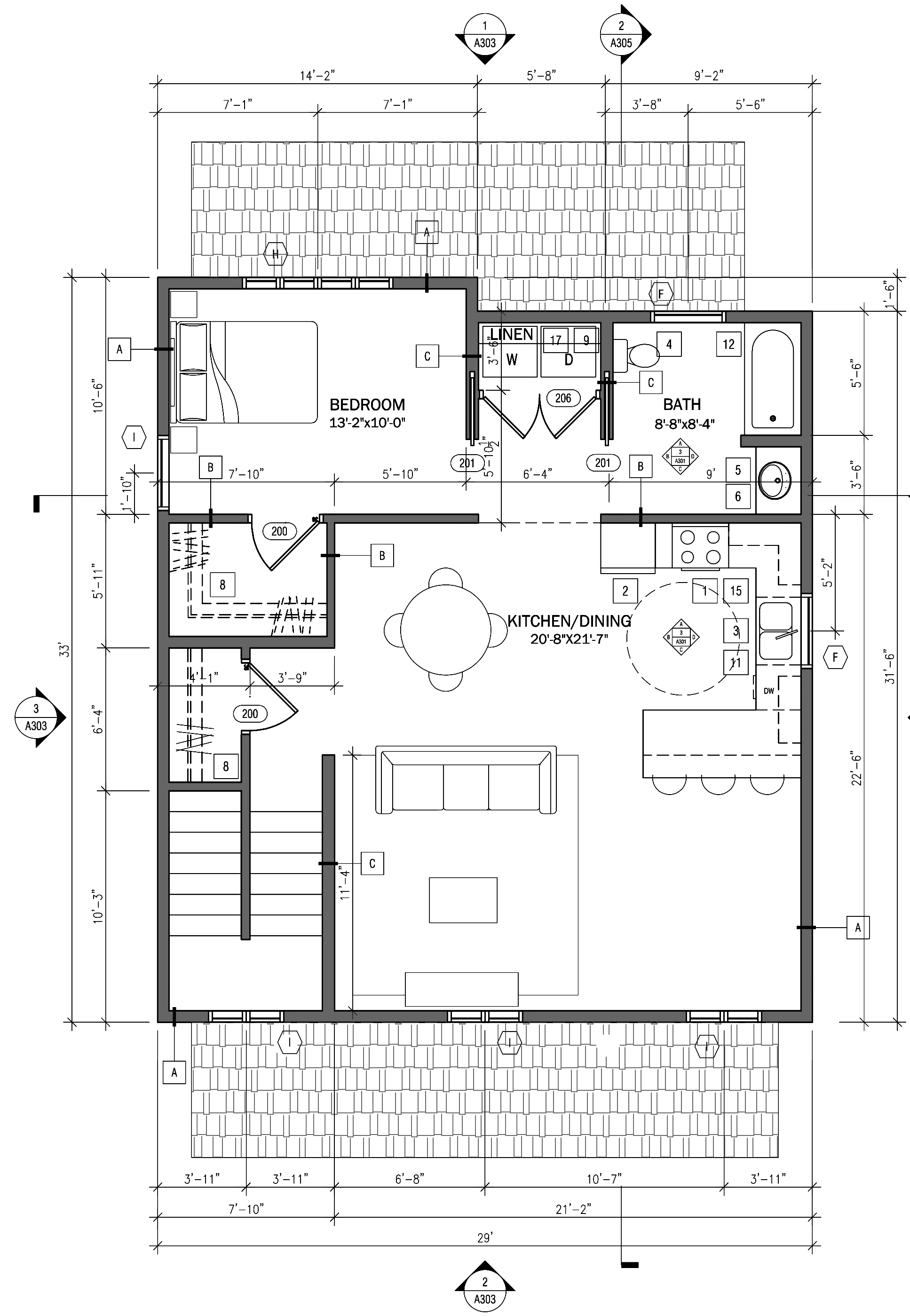
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KEYNOTES

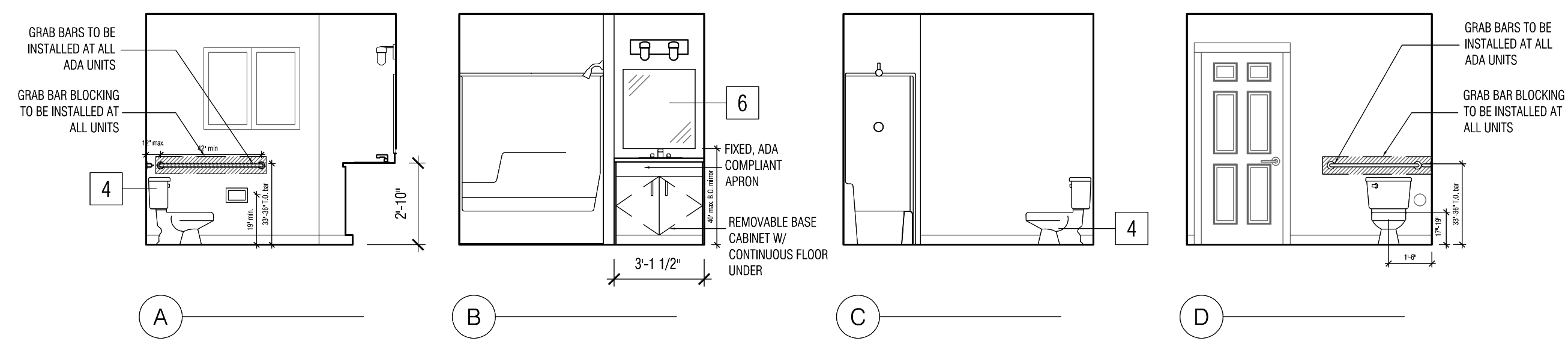
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KITCHEN 2
Scale: 1/4" = 1'-0"



BATHROOM 1
Scale: 1/4" = 1'-0"

SECOND FLOOR PLAN - OPTION A

Scale: 1/4" = 1'-0"

1

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM ¹	5/09/2022
ADDENDUM ²	5/23/2022
ADDENDUM ³	6/03/2022

SHEET

A302

COMMUNITY
 BUILDING
 RCP

GENERAL NOTES

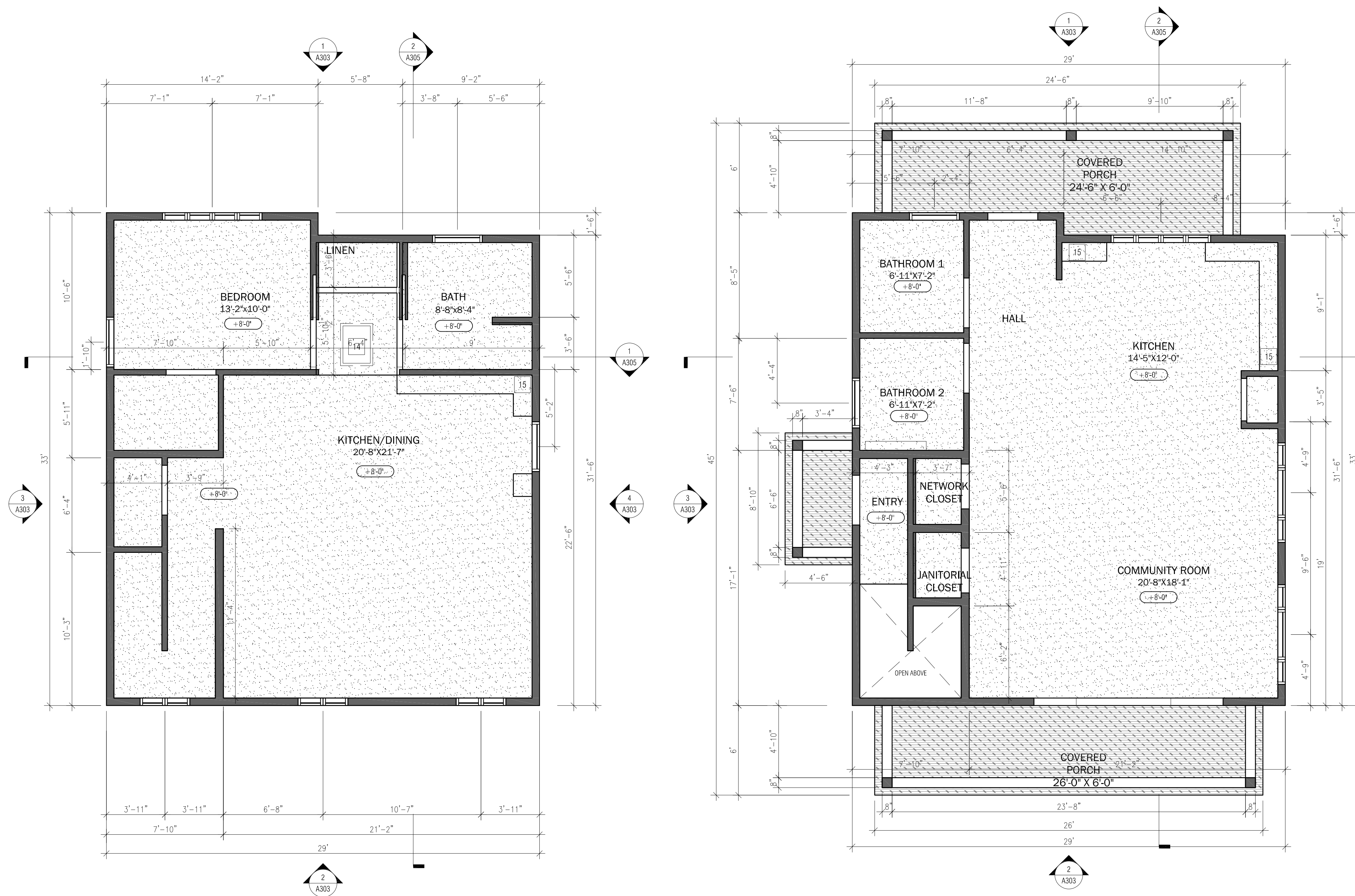
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SECOND FLOOR RCP 1
 Scale: 1/4" = 1'-0"

FIRST FLOOR RCP 1
 Scale: 1/4" = 1'-0"

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM ¹ / _A	5/09/2022
ADDENDUM ³ / _B	5/23/2022
ADDENDUM ⁴ / _C	6/03/2022





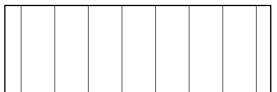
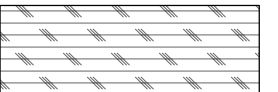
GENERAL NOTES

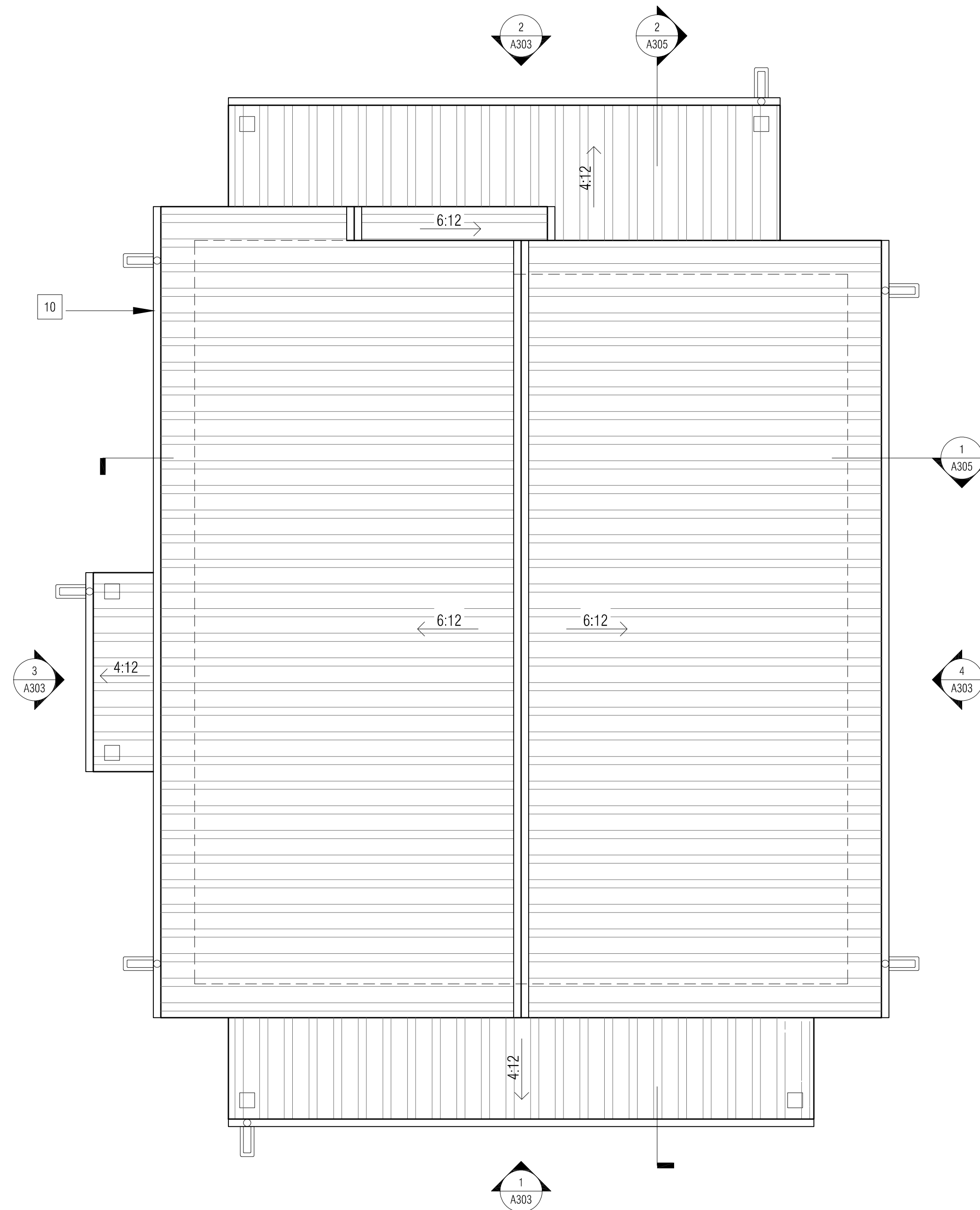
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ROOF PLAN 1

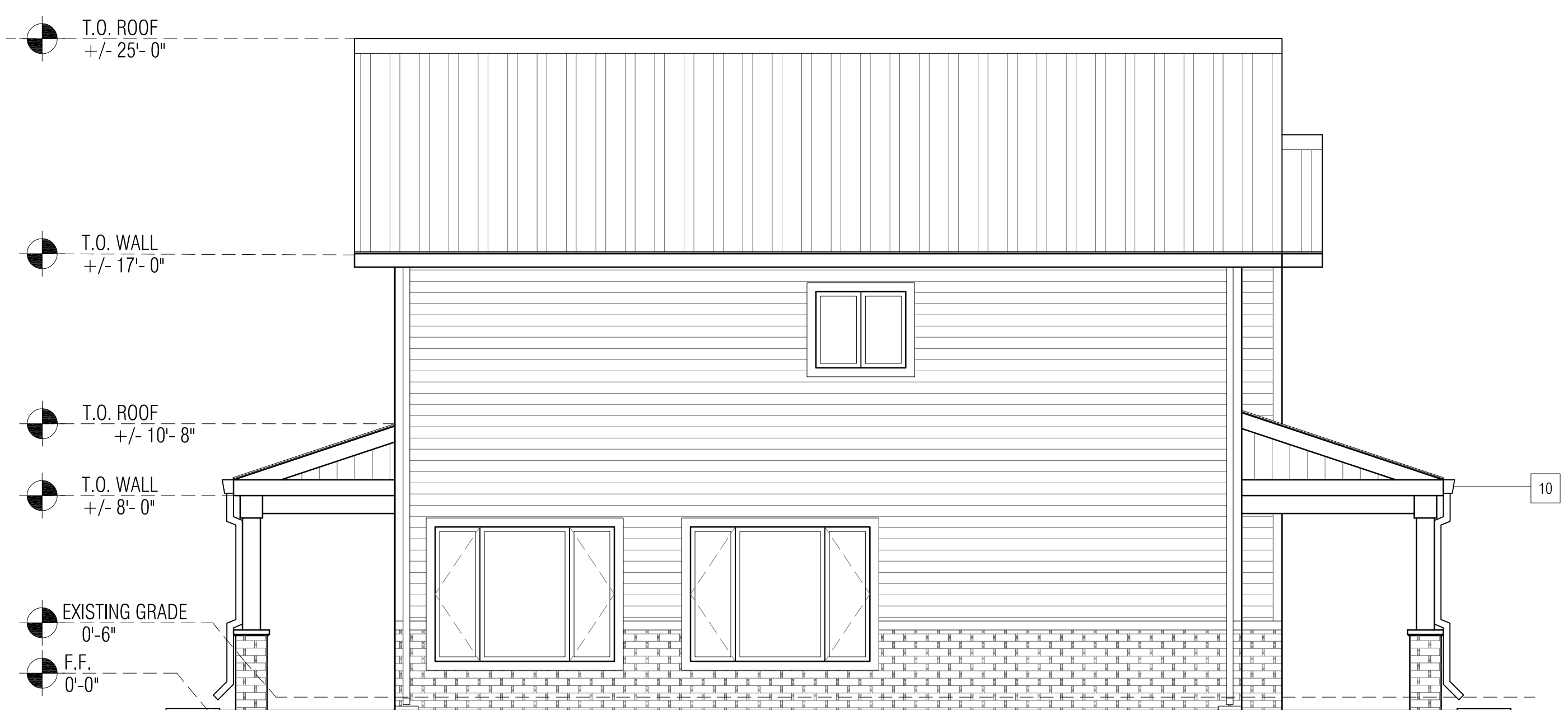
Scale: 1/4" = 1'-0"



FRONT ELEVATION 1
Scale: 1/4" = 1'-0"



REAR ELEVATION 2
Scale: 1/4" = 1'-0"



SIDE ELEVATION 4
Scale: 1/4" = 1'-0"



SIDE ELEVATION 3
Scale: 1/4" = 1'-0"

LEGEND

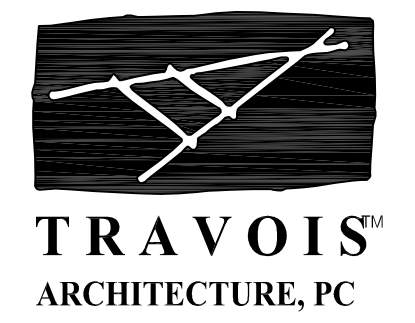
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7. SEE STRUCTURAL SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. FOUNDATIONS TO BE C.I.P. . SEE S SHEETS FOR ADDITIONAL INFORMATION.
9. SEE A404 FOR WINDOW AND DOOR SCHEDULES. FINAL R.O. PER DOOR/WDW MFR
10. ALL INTERIOR DOORS NOT DIMENSIONED SHALL BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
11. ALL WALL SURFACES IN BATHROOMS, WET LOCATIONS, RANGE TOP AND HOT WATER HEATER TO RECEIVE 3/4" WATER RESISTANT GYP.
12. PROVIDE BLOCKING FOR ALL WALL MOUNTED DEVICES: SUCH AS, BUT NOT LIMITED TO: CABINETS, SHELVES, HARDWARE, TOILET ACCESSORIES AND ALL GRAB BARS. PROVIDE BLOCKING IN ALL BATHROOMS FOR FUTURE GRAB BAR INSTALLATION.
13. TEXTURE ALL DRYWALL TO BE ORANGE PEEL APPLIED PER SPECS. FINISH THROUGHOUT PRIOR TO PAINTING.
14. SEE A402 FOR TYP. WALL TYPES
15. MIN. INSULATION REQUIREMENTS CLIMATE ZONE 4C:
ROOF/ ATTIC ASSEMBLY- R-49
EXTERIOR CAVITY WALLS- R-21
SLAB- R-10 (UNDER ENTIRE SLAB)
16. PROVIDE PASSIVE RADON SYSTEM PER MEP SHEETS & DETAIL 3/A402
17. ALL INTERIOR PAINTS MUST COMPLY WITH GREEN SEAL STANDARDS FOR LOW VOC LIMITS
18. BUILDING ENVELOPE TO HAVE AND AIR LEAKAGE RATING OF LESS THAN OR EQUAL TO 0.40 CFM/SQ.FT. MAXIMUM 5 AIR CHANGES PER HOUR. A BLOWER DOOR TEST IS REQUIRED BY THE WASHINGTON STATE ENERGY CODE R402.4.1.2 TESTING FOR EACH HOUSING UNIT. TEST TO BE PAID FOR AND COORDINATED BY CONTRACTOR.
19. EACH DWELLING UNIT IS DESIGNED TO COMPLY WITH OPTIONS 1A AND 3D OF TABLE R406.2

KEYNOTES

- 1 FREE STANDING OVEN W/ HOOD VENTED TO EXTERIOR (REFERENCE SPEC. SHEETS)
- 2 REFRIGERATOR (RE: SPECIFICATIONS)
- 3 KITCHEN SINK (PER PLUMBING SHEETS)
- 4 TOILET (PER PLUMBING SHEETS, ADA AS REQUIRED)
- 5 BATHROOM VANITY (SEE INTERIOR ELEVATIONS) AND SINK (PER PLUMBING SHEETS). ADA VANITY AT ADA UNITS.
- 6 BATHROOM ACCESSORIES- TOILET PAPER HOLDER, TOWEL BAR, ROBE HOOK, SHOWER CURTAIN ROD, MIRROR (ONE BEHIND ALL SINKS), MEDICINE CABINET (FULL BATHS ONLY), AND GRAB BARS AS REQUIRED BY ADA AT TOILETS AT ADA UNITS (REFERENCE SPECIFICATION SHEETS).
- 7 PROVIDE (4) TIERS OF 16" DEEP SHELVING INSTALLED AT 20", 30", 52" AND 68" AFF.
- 8 CLOTHES ROD & SHELF AT ALL BEDROOM AND ENTRY CLOSETS.(RE:SPECIFICATIONS)
- 9 WASHER AND DRYER (RE: SPECIFICATIONS)
- 10 PRE FINISHED 5" GUTTER AND 2"x3" DOWNSPOUT AND SCUPPER. RUN TO SPLASHBLOCK THAT TERMINATES 5'-0" FROM FOUNDATION.
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- 12 BATH/SHOWER ENCLOSURE PER MEP SPEC. ALL ADA UNIT SHOWERS TO HAVE TILED SHOWER BASE AND FLOOR. SLOPE CONCRETE 2% TO DRAIN. SEE A002 FOR TILE SPECS.
- 13 PROVIDE POSITIVE DRAINAGE AWAY FROM EXTERIOR DOORS AT ALL EXTERIOR PATIOS AND CARPORTS.
- 14 ATTIC ACCESS HATCH PER SPECIFICATION
- 15 15" DEEP SOFFITS ABOVE KITCHEN CABINETS
- 16 PRE-FAB WOOD TRUSS. ENERGY HEEL.
- 17 SHELF ABOVE WASHER/DRYER
- 18 SOFFIT PANEL PER SPECIFICATION.
- 19 LAP SIDING PER SPECIFICATION.



SAMISH 34th ST HOUSING
2109 34TH STREET
ANACORTES, WA 98221

TRAVOIS DESIGN
310 W. 19TH TERRACE
KANSAS CITY, MO 64108
P 816.994.8970
F 816.994.8974

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

SHEET
A304

COMMUNITY
BUILDING
ELEVATIONS

REVISION	DATE
100% BID SET	9/21/2021
ADDENDUM 1	5/09/2022
ADDENDUM 3	5/23/2022
ADDENDUM 4	6/03/2022

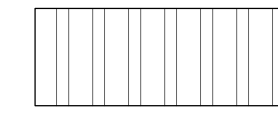
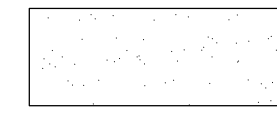
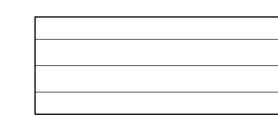
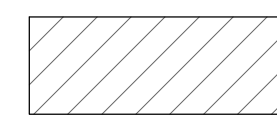
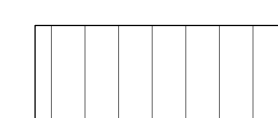
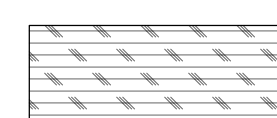
GENERAL NOTES

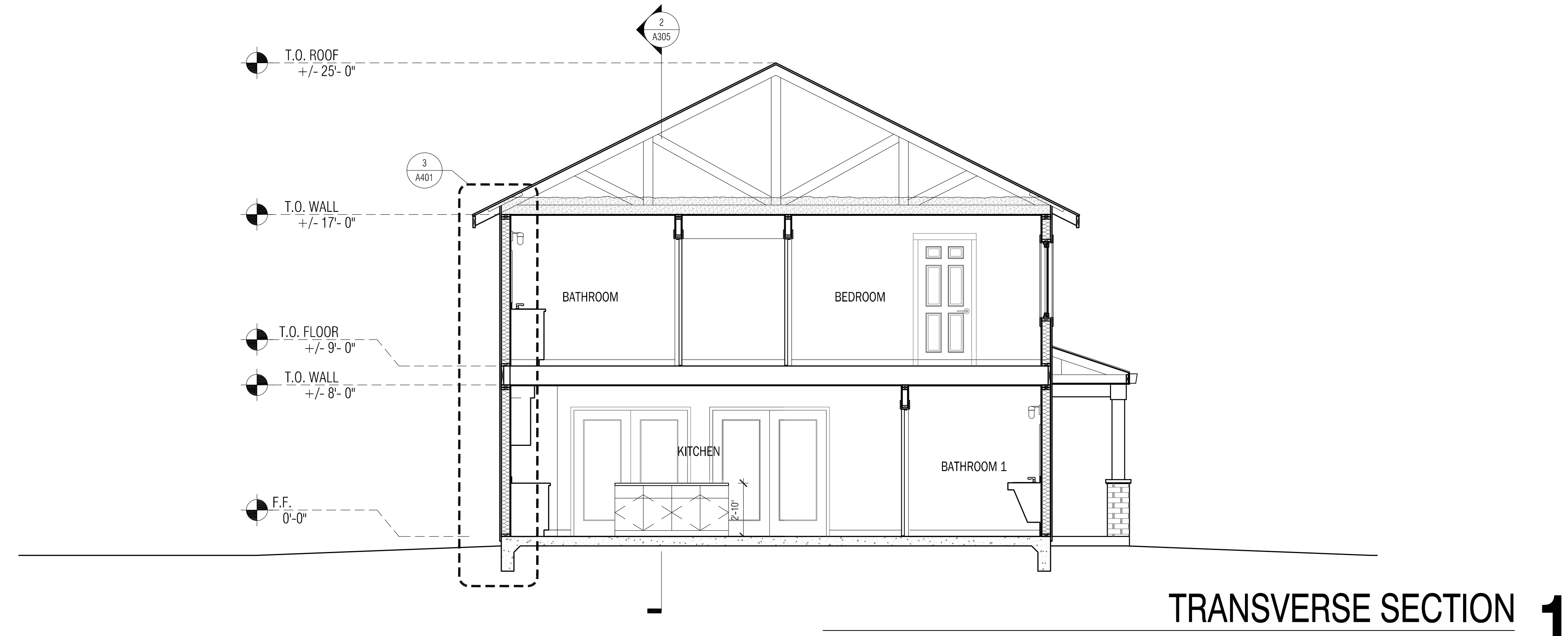
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- SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- SEE ATS FOR LEGEND AND MATERIALS NOT SHOWN
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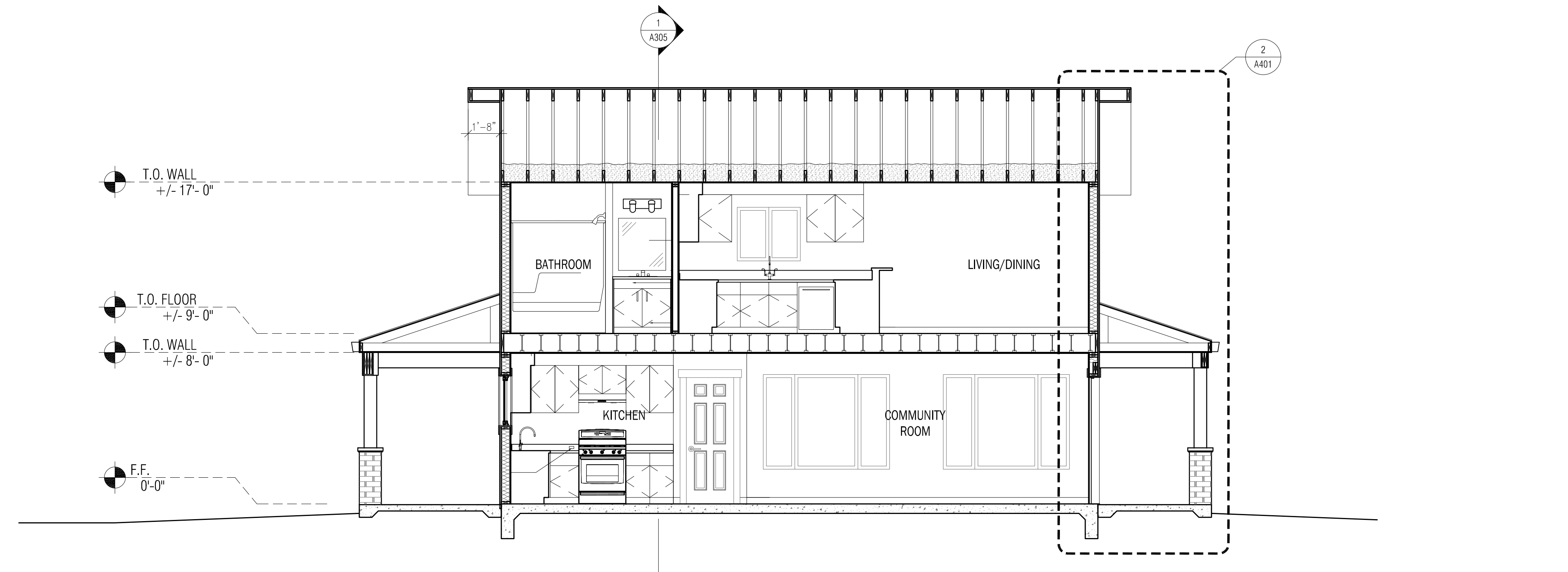
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LEGEND

	METAL ROOF		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	LAP SIDING. COLORS TBD BY OWNER.		FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	VERTICAL SIDING. COLORS TBD BY OWNER.		LP SMARTSIDE SOFFIT BOARD VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



TRANSVERSE SECTION 1
Scale: 1/4" = 1'-0"



LONGITUDINAL SECTION 2
Scale: 1/4" = 1'-0"



PREPARED BY:

PREPARED FOR:

SAMISH INDIAN NATION

PROJECT NAME:

SAMISH 34TH ST HOUSING

DATE:

June 3, 2022

SUBJECT:

SCHEDULE OF VALUES - SITE CIVIL

PROJECT NUMBER:

60196

WSDOT ITEM NO.	CONTRACT ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	UNIT PRICE	TOTAL PRICE
PREPERARTION					
1	0001	MOBILIZATION FOR SITE CIVIL	1	L.S.	
2	0025	CLEARING AND GRUBBING	0.4	ACRE	
3	0030	CLEARING AND GRUBBING - SITE	1.8	ACRE	
4	0120	REMOVING ASPHALT CONC. PAVEMENT	254	S.Y.	
5	0050	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	1	L.S.	
GRADING					
6	0310	ROADWAY EXCAVATION INCL. HAUL	2,101	C.Y.	
7	0470	EMBANKMENT COMPACTION	455	C.Y.	
STORM / SANITARY SEWER					
8	1100	FLARED END SECTION 12 IN. DIAM.	1	EACH	
9	3152	TESTING SEWER PIPE	1,207	L.F.	
10	3602	CORRUGATED POLYETHYLENE STORM SEWER PIPE 12 IN. DI	531	L.F.	
11	1270	CL. IV REINF. CONC. CULV. PIPE 12 IN. DIAM.	66	L.F.	
12	SP	CATCH BASIN - 18" PVC	3	EACH	
13	SP	CURB OUTLET	2	EACH	
14	3640	SEWER CLEANOUT	16	EACH	
15	3766	PVC SANITARY SEWER PIPE 6 IN. DIAM.	320	L.F.	
16	3767	PVC SANITARY SEWER PIPE 8 IN. DIAM.	887	L.F.	
17	7360	MANHOLE 48 IN. DIAM. TYPE 1	6	EACH	
WATER LINES					
18	3858	SERVICE CONNECTION 1 IN. DIAM.	9	EACH	
19	3861	SERVICE CONNECTION 2 IN. DIAM.	1	EACH	
20	3846	HYDRANT ASSEMBLY	1	EACH	
21	SP	PVC FOR WATER MAIN 2 IN. DIAM.	285	L.F.	
22	3867	DUCTILE IRON PIPE FOR WATER MAIN 8 IN. DIAM.	370	L.F.	
23	6160	GATE VALVE 8 IN.	2	EACH	
SURFACING / PAVEMENT					
24	5035	PERMEABLE BALLAST	10	C.Y.	
25	5095	CRUSHED SURFACING BASE COURSE	355	C.Y.	
26	5115	CRUSHED SURFACING TOP COURSE	146	C.Y.	
27	5767	HMA (CLASS B) CL. 1/2 IN. PG 64-22	101	TON	
28	5625	CEMENT CONC. PAVEMENT	342	C.Y.	
29	6511	HMA SAWCUT AND SEAL	462	L.F.	
30	6700	CEMENT CONC. TRAFFIC CURB AND GUTTER	930	L.F.	
31	7055	CEMENT CONC. SIDEWALK	412	S.Y.	
32	7058	CEMENT CONC. CURB RAMP PARALLEL TYPE A	2	EACH	
33	7058	CEMENT CONC. CURB RAMP PERPENDICULAR TYPE B	2	EACH	
34	7059	CEMENT CONC. DRIVEWAY ENTRANCE TYPE 4	97	S.Y.	
35	SP	PAVER STONE	569	S.Y.	
EROSION CONTROL & PLANTING					
36	6414	SEEDING, FERTILIZING, AND MULCHING	0.09	ACRE	
37	6417	SEEDING, FERTILIZING, AND MULCHING - SITE	0.90	ACRE	
38	6488	EROSION CONTROL AND WATER POLLUTION PREVENTION	1	L.S.	
39	8058	LANDSCAPING	1	L.S.	
TRAFFIC					
40	6806	PAINT LINE	145	L.F.	
41	6858	PAINTED STOP LINE	11	L.F.	
42	6862	PAINTED ACCESS PARKING SPACE SYMBOL	2	EACH	
43	6902	SIGN COVERING	15	S.F.	
44	6949	CONDUIT PIPE 4 IN. DIAM.	100	L.F.	
45	6971	PROJECT TEMPORARY TRAFFIC CONTROL	1	L.S.	
OTHER ITEMS					
46	6243	ADJUST VALVE BOX	1	EACH	
47	7006	STRUCTURE EXCAVATION CLASS B INCL. HAUL	359	C.Y.	
48	7014	GRAVEL BACKFILL FOR DRAIN	305	C.Y.	
49	7017	GRAVEL BACKFILL FOR PIPE ZONE BEDDING	6	C.Y.	
50	7024	CONC. CLASS 3000	3	C.Y.	
51	SP	6 FT WOODEN PRIVACY FENCE	474	L.F.	
52	7040	LICENSED SURVEYING FOR SITE CIVIL	1	EST.	
53	7054	DETECTABLE WARNING SURFACE	40	S.F.	
54	7069	WHEEL STOP	12	EACH	
55	SP	SPLIT RAIL FENCE	627	L.F.	
56	SP	GROUP MAILBOXES	1	EACH	
57	SP	RELOCATE EXISTING MAILBOX	2	EACH	
58	SP	DOUBLE CHECK VALVE AND VAULT	1	EACH	
59	6945	2" PVC CONDUIT	7,718	L.F.	
60	SP	PHONE-NETWORK PULL BOXES	5	EACH	
Grand Total =					